Windward
Community Development District

Agenda

March 19, 2025

AGENDA

Windward
Community Development District

219 East Livingston Street, Orlando, FL 32801
Phone: 407-841-5524 – Fax: 407-839-1526

March 12, 2025

Board of Supervisors
Windward Community
Development District

Dear Board Members:
The regular meeting of the Board of Supervisors of the Windward Community Development District will be held **Wednesday, March 19, 2025 at 1:00 p.m.** at **7813 Four Seasons Blvd., Kissimmee, Florida 34747.** Following is the agenda for the meeting:

Board of Supervisors Meeting

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Public Comment Period
5. Organizational Matters
   A. Consideration of Resolution 2025-04 Electing Officers
6. Approval of Minutes of the February 19, 2025 Board of Supervisors Meeting
7. Staff Reports
   A. Attorney
   B. Engineer
   C. District Manager
      i. Approval of Check Register
      ii. Paid/ Unpaid Invoices for Approval
      iii. Balance Sheet and Income Statement
      iv. Approval of 2020A Requisitions No. 11 & 12
   D. Field Manager
      i. Consideration of Agreement for Services Related to Irrigation System
      ii. Consideration of Prince & Sons Proposals
         a. Consideration of Proposal to Remove Shrubs Near Cart Path
         b. Consideration of Proposal to Reroute Broken Line
         c. Consideration of Proposal for Tree Bubbler Capping
         d. Consideration of Proposal to Upgrade Irrigation Filters
8. Other Business
9. Supervisors' Requests
10. Adjournment

SECTION V

SECTION A

RESOLUTION 2025-04

A RESOLUTION ELECTING THE OFFICERS OF THE WINDWARD COMMUNITY DEVELOPMENT DISTRICT, OSCEOLA COUNTY, FLORIDA.

WHEREAS, the Windward Community Development District (the "District") is a local unit of special-purpose government created and existing pursuant to Chapter 190, *Florida Statutes*; and

WHEREAS, the Board of Supervisors of the District ("Board") desires to elect the Officers of the District.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE WINDWARD COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. The following persons are elected to the offices shown:

Chairperson _____

Vice Chairperson _____

Secretary _____

Assistant Secretary _____

Assistant Secretary _____

Assistant Secretary _____

Assistant Secretary _____

Treasurer _____

Assistant Treasurer _____

Assistant Treasurer _____

PASSED AND ADOPTED this 19th day of March 2025.

ATTEST:

WINDWARD COMMUNITY DEVELOPMENT DISTRICT

_____
Secretary/Assistant Secretary

_____
Chairperson, Board of Supervisors

MINUTES

MINUTES OF MEETING
WINDWARD
COMMUNITY DEVELOPMENT DISTRICT

The regular meeting of the Board of Supervisors of the Windward Community Development District was held Wednesday, **February 19, 2025** at 1:00 p.m. at 7813 Four Seasons Boulevard, Kissimmee, Florida.

Present and constituting a quorum were:

Tom Peltier	Chairman
Ernest Hofer	Vice Chairman
Greg Bobonik	Assistant Secretary

Also Present were:

Jason Showe	District Manager
Kristen Trucco	District Counsel
Steven Saha	District Engineer
Thomas Santos	Field Manager
Jarett Wright	Field Manager
Several Residents	

FIRST ORDER OF BUSINESS **Call to Order**

Mr. Showe called the meeting to order.

SECOND ORDER OF BUSINESS **Roll Call**

Mr. Showe called the roll.

THIRD ORDER OF BUSINESS **Pledge of Allegiance**

Mr. Showe led the pledge of allegiance.

FOURTH ORDER OF BUSINESS **Public Comment**

The following comments were made by the residents: Tree straightening program has stalled, the verge needs to be resodded, irrigation running twice a day, on Key Bay Trail there is a

channel from the swamp under Key Bay Trail to some piping that is part of the stormwater system and was completed by the developer.

FIFTH ORDER OF BUSINESS **Approval of the Minutes of the January 15, 2025 Meeting**

> On MOTION by Mr. Peltier seconded by Mr. Hofer with all in favor the minutes of the January 15, 2025 meeting were approved as presented.

SIXTH ORDER OF BUSINESS **Staff Reports**

A. Attorney

i. Reimbursement Request for Sod Replacement Costs

> On MOTION by Mr. Bobonik seconded by Mr. Peltier with all in favor the request for reimbursement for sod placed in the CDD property was denied.

ii. Demand Letter to Juniper

Ms. Trucco stated at the last board meeting you directed me in conjunction with Supervisor Bobonik to look through the record and compile a demand letter based on allegations of Juniper not fulfilling the contract pursuant to the terms therein. We are working on the demand letter.

iii. Consideration of Assignment of Easement Agreement from K. Hovnanian at Mystic Dunes, LLC as Amended by First Amendment to Easement Agreement for Wall/Fence, Landscape and Irrigation Ner Formosa Gardens Blvd.

Ms. Trucco stated this is an easement for landscape improvements including wall, fence, landscape and irrigation improvements to be installed and maintained in an area of property that is owned by Mystic Dunes. This was originally agreed to by KHov and we were approached by Mystic Dunes asking to participate in the maintenance of those improvements. We looked to see what they were relying on as part of that request, and we were provided with copies of these two documents. I read through them and my concern was with these easement agreements usually the obligation in easements run with the property owner so they run with the land. It wasn't clear to me by reading the document that the obligations in the easement agreements to maintain that

landscaping ran with any property that the CDD currently owns. There was a conference with the Mystic Dunes counsel and also with KHov's counsel and based on the information we have so far, it is our understanding that KHov intended to assign the easement and amendment to the CDD and they asked me to draft that. I explained that I don't have the authority to do that outside of a board meeting, I would need to come back to this board and get direction to draft an assignment of these obligations in the easement agreement that would assign the CDD the obligation to maintain all the improvements in that easement area.

This board needs to decide if there is a desire in the future to have control over the improvements that are abutting Formosa Gardens Boulevard. If you have a desire to have some control over the look there, the level of maintenance, over what is there then it may be worth looking into the assignment of the easement agreement to the CDD. As part of that we recommend we have our CDD staff go out there in conjunction with one of the supervisors to make sure the all the improvements that are subject to the easement agreement are brought up to the standard that the CDD board is comfortable with for accepting those improvements before they take on an assignment. Alternatively, today the board could decide that at this time they don't want to accept an assignment. I need feedback from the board on the direction you want to go. You can also go back and say you may consider an assignment in the future, but you desire to have a walkthrough meeting with landscape vendor, Mystic Dunes and KHov to understand what the expectation is.

Mr. Bobonik stated I think there is a desire to do that, but we need a site visit, your option 3 is the way to go, a site visit with GMS, a representative from the board, Prince, United and Mystic Dunes and if the developer wants to be present also. Let's set up a mutually acceptance time to see what it looks like and what it will require.

On MOTION by Mr. Bobonik seconded by Mr. Peltier with all in favor staff was authorized to set up a meeting with Mystic Dunes, KHov, GMS, United, Prince and a board member to ascertain the condition of the area covered in the easement agreement.

On MOTION by Mr. Hofer seconded by Mr. Peltier with all in favor Mr. Bobonik was authorized to work with Toho as the primary contact on the board.

On MOTION by Mr. Bobonik seconded by Mr. Peltier with all in favor Mr. Bobonik was authorized to do the site review with staff and Duke.

B. Engineer

There being no comments, the next item followed.

C. Manager

i. Approval of Check Register

On MOTION by Mr. Bobonik seconded by Mr. Hofer with all in favor the check register was approved.

ii. Paid/Unpaid Invoices for Approval

On MOTION by Mr. Hofer seconded by Mr. Peltier with all in favor the unpaid invoices were approved for payment and staff will provide detailed information on the location of the repairs made on the invoices from Prince & Sons.

iii. Balance Sheet and Income Statement

A copy of the balance sheet and income statement were included in the agenda package.

iv. Streetlight Cost Breakdown

A copy of the streetlight cost breakdown was included in the agenda package.

v. Approval of 2020A Requisitions No. 9 & 10

On MOTION by Mr. Bobonik seconded by Mr. Hofer with all in favor requisitions 9 and 10 from the 2020A bond issue were approved.

D. Field Manager

i. Stormwater Repair

Mr. Wright reviewed the proposal for repair of the stormwater structures 01, 04 and secondary repairs would be for overgrowth.

Mr. Peltier stated it appears that it has not been maintained by KHov and their staff. I think we need to move forward but I would like counsel to seek reimbursement from KHov.

Ms. Trucco stated at least one of those tracts we looked at in the workshop was conveyed to the CDD in 2021 but overall if you are concerned about a construction defect and you want to see if there are any options or any entitlement to potentially be reimbursed for something then I recommend the district engineer inspect those areas and give an opinion to the CDD board before you engage counsel to write a demand letter.

Mr. Peltier stated I feel that we should move forward to get this taken care of with Mystic Dunes.

> On MOTION by Mr. Peltier seconded by Mr. Hofer with all in favor the stormwater repair was approved in the amount of $8,130.50 subject to review by the engineer.

ii. Consideration of Proposals for Tree Straightening

Mr. Showe stated the other items are the verge issues. One proposal is for a tree bubbler cap and removal, a proposal for tree straightening and one for sod repair.

a. Tree Bubbler Removal and Cap

> On MOTION by Mr. Bobonik seconded by Mr. Peltier with all in favor proposal 149345 for tree bubbler removal and cap in the amount of $2,818.20 was approved.

b. Parkway Tree Straightening

Mr. Bobonik stated there are three things that need to be removed from this proposal, on Limestone, 2119, 2127 and one on Seagrass 2280.

> On MOTION by Mr. Bobonik seconded by Mr. Hofer with all in favor proposal 149388 from United Land Services for tree straightening less the trees at 2118 and 2127 Limestone and 2280 Seagrass was approved.

Ms. Trucco stated because we don't have an agreement with United Land Services we recommend you have a front end agreement with them with our standard language in case there are any issues with the work that is performed.

Mr. Showe stated we can include all three proposals into one front end document.

Ms. Trucco stated future proposals approved by the board would be subject to all the terms in that front end agreement that way we don't have to keep going back.

c. Verge Sod Repair

Mr. Peltier asked how are they going to do it? Are they going to take out the sod and put in new soil and sod? What is the guaranty on the sod they are putting back in?

Ms. Trucco stated you can approve this subject to staff signoff and delegate authority to Supervisor Bobonik to work with the attorney on this item. Otherwise, you can table this for more information.

Mr. Showe stated industry standard is typically a year on a sod install. The nice thing is since they are in charge of maintaining that area, if they put the sod in, it is their sod. They have ownership of it and are required to be maintained per their contract.

There is a landscape contingency that has $50,000 in it and we would probably pull all of these out of.

> On MOTION by Mr. Peltier seconded by Mr. Bobonik with all in favor proposal 149193 from United Land Services for 12,547 square feet of sod replacement in the amount of $20,075.20 was approved and Supervisor Bobonik was authorized to work with district counsel and other staff on this item.

Mr. Showe stated the only other motion we need is something we discussed at the workshop is the board okay with a motion not to exceed $2,000 for GMS to start working on the lights pending a meeting with Greg to go over the scope?

> On MOTION by Mr. Peltier seconded by Mr. Hofer with all in favor staff was authorized to work on the lights in an amount not to exceed $2,000 and to work with Mr. Bobonik on this project.

SEVENTH ORDER OF BUSINESS Other Business

Mr. Hofer asked when can we expect an update on the reports, etc. that we have been asking for? Especially, scheduling when the water is coming on for irrigation, wet checks, mowing schedule, reports detailing exactly what has transpired last month, what is being done currently, issues, deficiency reports?

Mr. Wright stated we met last week to go over expectations going forward, how we are going to start processing reports. We want to be a lot more detailed going forward so there is no confusion. We will be asking for a weekly report of items addressed this week, issues we are going to address next week and have a plan week to week so that when I come out, I know what I'm looking for. The plan is to combine all those every single week and put the report into your agenda, that way everybody knows what was done and when. We are also looking for progress reports for next month's agenda.

Mr. Hofer stated we had a palm analysis done and that was supposed to be presented at the last meeting, but Paul wasn't here. Did we ever get that report?

Mr. Santos stated I haven't pulled any samples on the palms. I have driven through this community several times and I don't see palms that have any type of disease that warrants testing. To do a PCR test takes three to four weeks to culture and test. I have to pull a sample, send it to the University of Florida and they have to culture it, and it costs $100 per palm to test for PCR.

Mr. Hofer stated you are saying you don't see any palms with disease even the big one on Four Seasons Boulevard that is half dead?

Mr. Wright stated we will look at that and we can look at injections that don't look as healthy as the others. Normally that is $150 per tree.

Mr. Santos stated that is usually done on a quarterly basis depending on the time of year as to what is done to it. We can put nutrients into it and it does help. Based on the size of the tree it could be $125 to $150 per tree. A large caliper tree it takes more injection points than a smaller caliper tree.

Mr. Hofer stated when we asked you to do an analysis of the trees that needed to be replaced, I know there are several by the sales center that have died and those have never been on a report. Is there a reason for that? We asked for a deficiency list, that is what I'm after, deficiencies throughout the community. I'm talking about all the tracts of land. You have been here six months, and we have asked for this for six months. I can look at it with you.

EIGHTH ORDER OF BUSINESS **Supervisor's Requests**

There being no comments, the next item followed.

NINTH ORDER OF BUSINESS **Adjournment**

On MOTION by Mr. Hofer seconded by Mr. Peltier with all in favor the meeting adjourned at 2:02 p.m.

_____ _____

Secretary/Assistant Secretary Chairman/Vice Chairman

SECTION VII

SECTION C

SECTION 1

Windward
Community Development District

Summary of Check Register

February 6, 2025 through March 5, 2025

Fund	Date	Check No.'s		Amount
General Fund				
	2/11/25	1016-1019	$	26,510.64
	2/20/25	1020-1032	$	91,849.07
	2/25/25	1033-1034	$	5,603.19
		Total Amount	**$**	**123,962.90**

*** CHECK DATES 02/06/2025 - 03/05/2025 ***
WINDWARD CDD - GENERAL FUND
BANK A GENERAL FUND

CHECK DATE	VEND#	.....INVOICE..... DATE	INVOICE	...EXPENSED TO... YRMO	DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT	#
2/11/25	00014	11/25/24	S121669	202411	320-53800-34100		*	938.31		
			GATE SERVICE							
						ACCESS CONTROL SYSTEMS LLC			938.31	001016
2/11/25	00010	2/06/25	9100	861	202501 320-53800-43000		*	30.80		
			17031 KEY BAY TRL							
		2/07/25	9100	861	202501 320-53800-43000		*	618.08		
			79811 FOUR SEASONS ENT							
		2/07/25	9100	861	202501 320-53800-43000		*	31.20		
			7701 FOUR SEASONS BLVD							
		2/07/25	9100	861	202501 320-53800-43500		*	1,394.99		
			000 FOURSEASONS BLVD LITE							
		2/11/25	9100	861	202501 320-53800-43000		*	30.80		
			24081 SANDY CREEK TRAIL							
		2/11/25	9100	861	202501 320-53800-43000		*	166.38		
			7980 FOUR SEASONS BLVD							
		2/11/25	9100	861	202501 320-53800-43000		*	59.72		
			7701 FOUR SEASONS BLVD							
		2/11/25	9100	861	202501 320-53800-43000		*	50.89		
			78151 FOUR SEASONS BLVD							
		2/11/25	9100	861	202501 320-53800-43000		*	60.95		
			21051 PEBBLE PASSAGE LN							
		2/11/25	9100	861	202501 320-53800-43000		*	30.80		
			79011 HANSON BAY PL							
						DUKE ENERGY			2,474.61	001017
2/11/25	00056	11/01/24	12470	202411	320-53800-46900		*	775.00		
			FOUNTAIN MAINT - NOV 24							
						LEXINGTON POOL & MAINTENANCE LLC			775.00	001018
2/11/25	00025	2/10/25	21025	202502	300-20700-10000		*	10,918.73		
			ASSESSMENT TXFR S2018							
		2/10/25	21025	202502	300-20700-10000		*	11,403.99		
			ASSESSMENT TXFR S2020							
						WINDWARD CDD/US BANK			22,322.72	001019
2/20/25	00014	1/15/25	S123664	202501	320-53800-34100		*	265.00		
			GATE SERVICE							
						ACCESS CONTROL SYSTEMS LLC			265.00	001020
2/20/25	00018	1/22/25	23	202501	310-51300-31300		*	500.00		
			AMORT SCHED 2020A-2							
						DISCLOSURE SERVICES LLC			500.00	001021
2/20/25	99999	2/20/25	VOID	202502	000-00000-00000		C	.00		
			VOID CHECK							
						******INVALID VENDOR NUMBER******			.00	001022

*** CHECK DATES 02/06/2025 - 03/05/2025 ***
WINDWARD CDD - GENERAL FUND
BANK A GENERAL FUND

CHECK DATE	VEND#	.....INVOICE..... DATE	INVOICE	...EXPENSED TO... YRMO	DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT	#
2/20/25	00001	1/01/25	249	202501	310-51300-34000		*	3,750.00		
			MANAGEMENT FEES - JAN 25							
		1/01/25	249	202501	310-51300-35200		*	92.75		
			WEBSITE ADMIN - JAN 25							
		1/01/25	249	202501	310-51300-35100		*	162.33		
			INFORMATION TECH - JAN 25							
		1/01/25	249	202501	310-51300-31300		*	841.75		
			DISSEMINATION - JAN 25							
		1/01/25	249	202501	310-51300-51000		*	.21		
			OFFICE SUPPLIES							
		1/01/25	249	202501	310-51300-42000		*	95.68		
			POSTAGE							
		1/01/25	249	202501	310-51300-42500		*	14.70		
			COPIES							
		1/01/25	250	202501	320-53800-12000		*	1,549.83		
			FIELD MANAGEMENT - JAN 25							
		2/01/25	252	202502	310-51300-34000		*	3,750.00		
			MANAGEMENT FEES - FEB 25							
		2/01/25	252	202502	310-51300-35200		*	92.75		
			WEBSITE ADMIN - FEB 25							
		2/01/25	252	202502	310-51300-35100		*	162.33		
			INFORMATION TECH - FEB 25							
		2/01/25	252	202502	310-51300-31300		*	841.75		
			DISSEMINATION - FEB 25							
		2/01/25	252	202502	310-51300-51000		*	.36		
			OFFICE SUPPLIES							
		2/01/25	252	202502	310-51300-42000		*	214.17		
			POSTAGE							
		2/01/25	252	202502	310-51300-42500		*	21.90		
			COPIES							
		2/01/25	253	202502	320-53800-12000		*	1,549.83		
			FIELD MANAGEMENT - FEB 25							
						GOVERNMENTAL MANAGEMENT SERVICES-CF			13,140.34	001023
2/20/25	00056	1/01/25	12641	202501	320-53800-46900		*	798.25		
			FOUNTAIN MAINT - JAN 25							
		2/01/25	12718	202502	320-53800-46900		*	798.25		
			FOUNTAIN MAINT - FEB 25							
						LEXINGTON POOL & MAINTENANCE LLC			1,596.50	001024
2/20/25	00002	1/14/25	134338	202402	310-51300-31500		*	2,864.56		
			GENERAL COUNSEL - DEC 24							
						LATHAM LUNA EDEN & BEAUDINE LLP			2,864.56	001025
2/20/25	00004	12/31/24	10731947	202412	310-51300-48000		*	211.93		
			PUBLIC HEARING							
						ORLANDO SENTINEL			211.93	001026

*** CHECK DATES 02/06/2025 - 03/05/2025 *** WINDWARD CDD - GENERAL FUND
BANK A GENERAL FUND

CHECK DATE	VEND#	.....INVOICE..... DATE	INVOICE	...EXPENSED TO... YRMO	DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT	#
2/20/25	00016	1/22/25	2018879	202501	310-51300-49100		*	200.73		
			2024 TAX ROLL YEAR							
						OSCEOLA COUNTY PROPERTY APPRAISER			200.73	001027
2/20/25	00059	1/27/25	16189	202501	320-53800-46400		*	654.76		
			IRRIGATION REPAIRS							
		1/28/25	16203	202501	320-53800-46400		*	394.76		
			IRRIGATION REPAIRS							
		2/01/25	16220	202502	320-53800-46800		*	19,737.00		
			LANDSCAPE MAINT - FEB 25							
		2/08/25	16409	202502	320-53800-46400		*	468.07		
			IRRIGATION REPAIRS							
						PRINCE & SONS, INC.			21,254.59	001028
2/20/25	00011	1/10/25	18-021(8	202412	310-51300-31100		*	842.15		
			ENGINEERING FEE DEC24							
						POULOS & BENNETT			842.15	001029
2/20/25	00052	1/31/25	3844	202501	320-53800-47100		*	1,200.00		
			DISC POND MAINT - JAN25							
		1/31/25	3844	202501	320-53800-47100		*	1,000.00		
			TILL POND - JAN25							
						TOOLE'S TRACTOR SERVICES & H2O			2,200.00	001030
2/20/25	00009	1/28/25	00262245	202501	320-53800-43100		*	150.41		
			7900 FOUR SEASONS							
		1/28/25	00262245	202501	320-53800-43100		*	46.01		
			7900 FOURSEASONS BLVD ODD							
		1/28/25	00262245	202501	320-53800-43100		*	28.05		
			7980 FOUR SEASONS BLVD GH							
		1/28/25	00262245	202501	320-53800-43100		*	44,831.42		
			0 FOUR SEASONS BLVD							
						TOHO WATER AUTHORITY			45,055.89	001031
2/20/25	00022	12/24/24	7588129	202412	310-51300-32300		*	3,097.82		
			TRUSTEE FEES S.18 FY25							
		12/24/24	7588129	202412	300-15500-10000		*	619.56		
			TRUSTEE FEES S.18 FY26							
						US BANK			3,717.38	001032
2/25/25	00010	2/12/25	9101 690	202501	320-53800-43000		*	18.85		
			21421 LIMESTONE TRL							
		2/12/25	9101 690	202501	320-53800-43000		*	18.81		
			23131 SEAGRASS PT RET-PND							
		2/13/25	9100 861	202501	320-53800-43500		*	1,542.59		
			4 SEASONS PH1B SL							

*** CHECK DATES 02/06/2025 - 03/05/2025 ***
WINDWARD CDD - GENERAL FUND
BANK A GENERAL FUND

CHECK DATE	VEND#	.....INVOICE..... DATE	INVOICE	...EXPENSED TO... YRMO	DPT ACCT# SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT	#
		2/13/25	9101	537 202501	320-53800-43500			*	1,656.51		
			000 FOURSEASONS BLVD LITE								
		2/19/25	9100	861 202502	320-53800-43500			*	1,538.96		
			000 SAND HILL RD								
							DUKE ENERGY			4,775.72	001033
2/25/25	00001	12/31/24	251	202512	320-53800-34100			*	827.47		
			STREET SIGNS STRAIGHTENED								
							GOVERNMENTAL MANAGEMENT SERVICES-CF			827.47	001034

TOTAL FOR BANK A 123,962.90

TOTAL FOR REGISTER 123,962.90

SECTION 2

to be provided under separate cover

SECTION 3

Windward

Community Development District

Unaudited Financial Reporting

February 28, 2025

TABLE OF CONTENTS

Windward

Community Development District

Combined Balance Sheet

February 28, 2025

	General Fund	*Debt Service Fund*	*Capital Projects Fund*	*Totals Governmental Funds*
Assets:				
Cash	$ 1,339,265	$ -	$ -	$ 1,339,265
Prepaid Expense	$ 956	$ -	$ -	$ 956
Due from Other	$ 43,277	$ -	$ -	$ 43,277
Investments				
Series 2018 A-1/A-2				
Reserve A-1	$ -	$ 121,438	$ -	$ 121,438
Reserve A-2	$ -	$ 145	$ -	$ 145
Revenue	$ -	$ 282,034	$ -	$ 282,034
Prepayment A-1	$ -	$ 293	$ -	$ 293
Construction	$ -	$ -	$ 5,839	$ 5,839
Series 2020 A-1/A-2				
Reserve A-1	$ -	$ 127,319	$ -	$ 127,319
Reserve A-2	$ -	$ 25,972	$ -	$ 25,972
Revenue	$ -	$ 469,223	$ -	$ 469,223
Prepayment A-1	$ -	$ 338	$ -	$ 338
Prepayment A-2	$ -	$ 233,758	$ -	$ 233,758
Construction	$ -	$ -	$ 2,722,312	$ 2,722,312
Cost of Issuance	$ -	$ -	$ 33,876	$ 33,876
Total Assets	**$ 1,383,499**	**$ 1,260,518**	**$ 2,762,027**	**$ 5,406,044**
Liabilities:				
Accounts Payable	$ 60,403	$ -	$ -	$ 60,403
Total Liabilities	**$ 60,403**	**$ -**	**$ -**	**$ 60,403**
Fund Balances:				
Nonspendable:				
Prepaid Items	$ 956	$ -	$ -	$ 956
Restricted for:				
Debt Service	$ -	$ 1,260,518	$ -	$ 1,260,518
Capital Projects	$ -	$ -	$ 2,762,027	$ 2,762,027
Unassigned	$ 1,322,140	$ -	$ -	$ 1,322,140
Total Fund Balances	**$ 1,323,096**	**$ 1,260,518**	**$ 2,762,027**	**$ 5,345,641**
Total Liabilities & Fund Balance	$ 1,383,499	$ 1,260,518	$ 2,762,027	$ 5,406,044

Windward

Community Development District

General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2025

	Adopted Budget	Prorated Budget Thru 02/28/25	Actual Thru 02/28/25	Variance
Revenues				
Assessments - Tax Roll	$ 1,378,623	$ 1,302,678	$ 1,302,678	$ -
Miscellaneous Revenue	$ 7,521	$ -	$ -	$ -
Total Revenues	**$ 1,386,144**	**$ 1,302,678**	**$ 1,302,678**	**$ -**
Expenditures:				
General & Administrative:				
Supervisors Fees	$ 4,800	$ 2,000	$ -	$ 2,000
FICA Expense	$ 367	$ 153	$ -	$ 153
Engineering	$ 16,000	$ 6,667	$ 842	$ 5,825
Attorney	$ 25,000	$ 10,417	$ 3,963	$ 6,454
Arbitrage	$ 900	$ 450	$ 450	$ -
Dissemination	$ 10,101	$ 4,209	$ 5,309	$ (1,100)
Annual Audit	$ 6,500	$ -	$ -	$ -
Trustee Fees	$ 8,008	$ 6,802	$ 6,802	$ -
Assessment Administration	$ 5,565	$ 5,565	$ 5,565	$ -
Management Fees	$ 45,000	$ 18,750	$ 18,750	$ -
Information Technology	$ 1,948	$ 812	$ 812	$ -
Website Maintenance	$ 1,113	$ 464	$ 464	$ -
Telephone	$ 125	$ 52	$ -	$ 52
Postage	$ 800	$ 333	$ 543	$ (210)
Travel Per Diem	$ 660	$ 275	$ -	$ 275
Printing & Binding	$ 500	$ 208	$ 198	$ 10
Insurance	$ 6,817	$ 6,817	$ 6,817	$ -
Legal Advertising	$ 1,500	$ 625	$ 971	$ (346)
Other Current Charges	$ 2,000	$ 833	$ 243	$ 590
Office Supplies	$ 150	$ 63	$ 1	$ 61
Property Appraiser	$ 500	$ 201	$ 201	$ -
Dues, Licenses & Subscriptions	$ 175	$ 175	$ 175	$ -
Total General & Administrative:	**$ 138,529**	**$ 65,869**	**$ 52,105**	**$ 13,764**

Windward

Community Development District

General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2025

	Adopted Budget	Prorated Budget Thru 02/28/25	Actual Thru 02/28/25	Variance
Operation & Maintenance				
Field Expenditures				
Field Services	$ 18,598	$ 7,749	$ 7,749	$ -
Facility Maintenance	$ 18,500	$ 7,708	$ 1,964	$ 5,745
Electric	$ 160,009	$ 66,670	$ 52,856	$ 13,814
Water & Sewer	$ 602,808	$ 251,170	$ 246,573	$ 4,597
Security Building Maintenance	$ 15,000	$ 6,250	$ 724	$ 5,527
Landscape Maintenance	$ 237,000	$ 98,750	$ 98,685	$ 65
Landscape Contingency	$ 50,000	$ 20,833	$ 3,238	$ 17,596
Property Insurance	$ 10,000	$ 10,000	$ 6,040	$ 3,960
Fountain Maintenance	$ 14,600	$ 6,083	$ 3,922	$ 2,162
Lake Maintenance	$ 22,100	$ 9,208	$ 5,525	$ 3,683
Irrigation Repairs	$ 30,000	$ 12,500	$ 4,981	$ 7,519
Roadway Maintenance	$ 9,000	$ 3,750	$ -	$ 3,750
Contingency	$ 10,000	$ 4,167	$ 4,393	$ (226)
Total Operations & Maintenance Expenditures	**$ 1,197,615**	**$ 504,840**	**$ 436,648**	**$ 68,192**
Total Expenditures	**$ 1,336,144**	**$ 570,709**	**$ 488,753**	**$ 81,956**
Excess (Deficiency) of Revenues over Expenditures	$ 50,000		$ 813,924	
Other Financing Sources/(Uses)				
Transfer In/Out	$ (50,000)	$ -	$ -	$ -
Total Other Financing Sources/(Uses)	**$ (50,000)**	**$ -**	**$ -**	**$ -**
Net Change in Fund Balance	**$ -**		**$ 813,924**	
Fund Balance - Beginning	$ -		$ 509,172	
Fund Balance - Ending	$ -		$ 1,323,096	

Windward

Community Development District

Debt Service Fund - Series 2018-A1

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2025

	Adopted Budget	Prorated Budget Thru 02/28/25	Actual Thru 02/28/25	Variance
Revenues				
Assessments - 2018 A1 Tax Roll	$ 243,648	$ 230,227	$ 230,227	$ -
Interest Income	$ 6,863	$ 4,578	$ 4,578	$ -
Total Revenues	**$ 250,511**	**$ 234,805**	**$ 234,805**	**$ -**
Expenditures:				
Series 2018A-1				
Interest - 11/1	$ 90,965	$ 90,965	$ 90,965	$ -
Principal - 5/1	$ 60,000	$ -	$ -	$ -
Interest - 5/1	$ 90,965	$ -	$ -	$ -
Total Expenditures	**$ 241,930**	**$ 90,965**	**$ 90,965**	**$ -**
Excess (Deficiency) of Revenues over Expenditures	$ 8,581		$ 143,840	
Fund Balance - Beginning	$ 135,308		$ 260,070	
Fund Balance - Ending	$ 143,889		$ 403,909	

Windward

Community Development District

Debt Service Fund - Series 2020-A1

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2025

	Adopted Budget	Prorated Budget Thru 02/28/25	Actual Thru 02/28/25	Variance
Revenues				
Assessments - 2020 A1 Tax Roll	$ 255,379	$ 240,459	$ 240,459	$ -
Interest Income	$ 10,876	$ 7,926	$ 7,926	$ -
Total Revenues	**$ 266,255**	**$ 248,385**	**$ 248,385**	**$ -**
Expenditures:				
Series 2020A-1				
Interest - 11/1	$ 85,726	$ 85,726	$ 85,726	$ -
Special Call - 11/1	$ -	$ -	$ 15,000	$ (15,000)
Principal - 5/1	$ 85,000	$ -	$ -	$ -
Interest - 5/1	$ 85,726	$ -	$ -	$ -
Total Expenditures	**$ 256,453**	**$ 85,726**	**$ 100,726**	**$ (15,000)**
Excess (Deficiency) of Revenues over Expenditures	$ 9,803		$ 147,659	
Fund Balance - Beginning	$ 120,934		$ 225,311	
Fund Balance - Ending	$ 130,736		$ 372,970	

Windward

Community Development District

Debt Service Fund - Series 2020-A2

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2025

	Adopted Budget	Prorated Budget Thru 02/28/25	Actual Thru 02/28/25	Variance
Revenues				
Assessments - 2020 A2 Direct	$ 81,840	$ -	$ -	$ -
Assessments - Prepayments	$ -	$ -	$ 734,668	$ 734,668
Interest Income	$ 14,777	$ 7,254	$ 7,254	$ -
Total Revenues	**$ 96,617**	**$ 7,254**	**$ 741,922**	**$ 734,668**
Expenditures:				
Series 2020A-2				
Interest - 11/1	$ 40,920	$ 31,130	$ 31,130	$ -
Special Call - 11/1	$ -	$ -	$ 245,000	$ (245,000)
Interest - 2/1	$ -	$ -	$ 5,610	$ (5,610)
Special Call - 2/1	$ -	$ -	$ 51,000	$ (51,000)
Interest - 5/1	$ 40,920	$ -	$ -	$ -
Total Expenditures	**$ 81,840**	**$ 31,130**	**$ 791,740**	**$ (760,610)**
Excess (Deficiency) of Revenues over Expenditures	$ 14,777		$ (49,818)	
Fund Balance - Beginning	$ 561,508		$ 533,457	
Fund Balance - Ending	$ 576,285		$ 483,639	

Windward

Community Development District

Capital Projects Fund - Series 2018

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2025

	Adopted Budget	Prorated Budget Thru 02/28/25	Actual Thru 02/28/25	Variance
Revenues				
Interest	$ -	$ -	$ 111	$ 111
Total Revenues	**$ -**	**$ -**	**$ 111**	**$ 111**
Expenditures:				
Capital Outlay	$ -	$ -	$ -	$ -
Total Expenditures	**$ -**	**$ -**	**$ -**	**$ -**
Excess (Deficiency) of Revenues over Expenditures	$ -		$ 111	
Fund Balance - Beginning	$ -		$ 5,728	
Fund Balance - Ending	$ -		$ 5,839	

Windward

Community Development District

Capital Projects Fund - Series 2020

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2025

	Adopted Budget	Prorated Budget Thru 02/28/25	Actual Thru 02/28/25	Variance
Revenues				
Interest	$ -	$ -	$ 33,725	$ 33,725
Total Revenues	**$ -**	**$ -**	**$ 33,725**	**$ 33,725**
Expenditures:				
Capital Outlay	$ -	$ -	$ 816	$ (816)
Total Expenditures	**$ -**	**$ -**	**$ 816**	**$ (816)**
Excess Revenues (Expenditures)	$ -		$ 32,909	
Fund Balance - Beginning	$ -		$ 2,723,279	
Fund Balance - Ending	$ -		$ 2,756,188	

Windward

Community Development District

Capital Reserve

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending February 28, 2025

	Adopted Budget	Prorated Budget Thru 02/28/25	Actual Thru 02/28/25	Variance
Revenues				
Interest	$ -	$ -	$ -	$ -
Total Revenues	**$ -**	**$ -**	**$ -**	**$ -**
Expenditures:				
Capital Outlay	$ -	$ -	$ -	$ -
Total Expenditures	**$ -**	**$ -**	**$ -**	**$ -**
Excess Revenues (Expenditures)	$ -		$ -	
Other Financing Sources/(Uses)				
Transfer In (Out)	$ 50,000	$ -	$ -	$ -
Total Other Financing Sources (Uses)	**$ 50,000**	**$ -**	**$ -**	**$ -**
Net Change in Fund Balance	**$ 50,000**		**$ -**	
Fund Balance - Beginning	$ -		$ -	
Fund Balance - Ending	$ 50,000		$ -	

Windward

Community Development District

Month to Month

	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Total
Revenues													
Assessments - Tax Roll	$ -	$ 269,652	$ 971,245	$ 30,546	$ 31,235	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 1,302,678
Assessments - Direct	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Miscellaneous Revenue	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Total Revenues	**$ -**	**$ 269,652**	**$ 971,245**	**$ 30,546**	**$ 31,235**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ 1,302,678**
Expenditures:													
General & Administrative:													
Supervisors Fees	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
FICA Expense	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Engineering	$ -	$ -	$ 842	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 842
Attorney	$ 1,915	$ 2,048	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 3,963
Arbitrage	$ -	$ 450	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 450
Dissemination	$ 1,442	$ 842	$ 842	$ 1,342	$ 842	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 5,309
Annual Audit	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Trustee Fees	$ -	$ 3,704	$ 3,098	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 6,802
Assessment Administration	$ 5,565	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 5,565
Management Fees	$ 3,750	$ 3,750	$ 3,750	$ 3,750	$ 3,750	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 18,750
Information Technology	$ 162	$ 162	$ 162	$ 162	$ 162	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 812
Website Maintenance	$ 93	$ 93	$ 93	$ 93	$ 93	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 464
Telephone	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Postage	$ 82	$ 6	$ 145	$ 96	$ 214	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 543
Travel Per Diem	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Printing & Binding	$ 7	$ -	$ 154	$ 15	$ 22	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 198
Insurance	$ 6,817	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 6,817
Legal Advertising	$ -	$ 759	$ 212	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 971
Other Current Charges	$ 41	$ 41	$ 41	$ 41	$ 78	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 243
Office Supplies	$ 0	$ 0	$ 0	$ 0	$ 0	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 1
Property Appraiser	$ -	$ -	$ -	$ 201	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 201
Property Taxes	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Dues, Licenses & Subscriptions	$ 175	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 175
Total General & Administrative:	**$ 20,050**	**$ 11,855**	**$ 9,339**	**$ 5,699**	**$ 5,162**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ 52,105**

Windward

Community Development District

Month to Month

	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Total
Operation & Maintenance													
Field Expenditures													
Field Services	$ 1,550	$ 1,550	$ 1,550	$ 1,550	$ 1,550	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 7,749
Facility Maintenance	$ -	$ 1,699	$ -	$ 265	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 1,964
Telephone	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Electric	$ 12,231	$ 12,186	$ 11,878	$ 11,107	$ 5,454	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 52,856
Water & Sewer	$ 39,730	$ 114,498	$ 39,751	$ 38,672	$ 13,922	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 246,573
Security Building Maintenance	$ 387	$ 289	$ 24	$ 24	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 724
Landscape Maintenance	$ 19,737	$ 19,737	$ 19,737	$ 19,737	$ 19,737	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 98,685
Landscape Contingency	$ -	$ -	$ -	$ 3,238	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 3,238
Property Insurance	$ 6,040	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 6,040
Fountain Maintenance	$ 775	$ 775	$ 775	$ 798	$ 798	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 3,922
Lake Maintenance	$ 375	$ 2,575	$ 375	$ 2,200	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 5,525
Irrigation Repairs	$ 1,839	$ 686	$ 938	$ 1,050	$ 468	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 4,981
Lighting Maintenance	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Monument Maintenance	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Roadway Maintenance	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Contingency	$ 2,533	$ 1,270	$ 470	$ 120	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 4,393
Total Operations & Maintenance Expenses	**$ 85,196**	**$ 155,265**	**$ 75,498**	**$ 78,760**	**$ 41,929**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ 436,648**
Total Expenditures	**$ 105,246**	**$ 167,120**	**$ 84,837**	**$ 84,459**	**$ 47,091**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**	**$ 488,753**
Excess (Deficiency) of Revenues over Expenditures	$ (105,246)	$ 102,532	$ 886,408	$ (53,913)	$ (15,856)	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 813,924

Windward

Community Development District

LONG TERM DEBT REPORT

SERIES 2018A-1, SPECIAL ASSESSMENT REVENUE BONDS		
INTEREST RATES:	4.500%, 5.100%, 5.700%, 5.800%	
MATURITY DATE:	5/1/2049	
RESERVE FUND DEFINITION	50% MAXIMUM ANNUAL DEBT SERVICE	
RESERVE FUND REQUIREMENT	$121,438	
RESERVE FUND BALANCE	$121,438	
BONDS OUTSTANDING - 11/07/18		$3,460,000
PRINCIPAL PAYMENT - 05/01/20		($50,000)
PRINCIPAL PAYMENT - 05/01/21		($50,000)
PRINCIPAL PAYMENT - 05/01/22		($50,000)
PRINCIPAL PAYMENT - 05/01/23		($55,000)
PRINCIPAL PAYMENT - 05/01/24		($60,000)
CURRENT BONDS OUTSTANDING		**$3,195,000**

SERIES 2018A-2, SPECIAL ASSESSMENT REVENUE BONDS		
INTEREST RATES:	5.800%	
MATURITY DATE:	11/1/2029	
RESERVE FUND DEFINITION	50% MAXIMUM ANNUAL INTEREST	
RESERVE FUND REQUIREMENT	$145	
RESERVE FUND BALANCE	$145	
BONDS OUTSTANDING - 11/07/18		$4,120,000
SPECIAL CALL - 05/01/19		($150,000)
SPECIAL CALL - 08/01/19		($245,000)
SPECIAL CALL - 11/01/19		($330,000)
SPECIAL CALL - 02/01/20		($200,000)
SPECIAL CALL - 05/01/20		($205,000)
SPECIAL CALL - 08/01/20		($305,000)
SPECIAL CALL - 11/01/20		($665,000)
SPECIAL CALL - 02/01/21		($580,000)
SPECIAL CALL - 05/01/21		($85,000)
SPECIAL CALL - 08/01/21		($1,060,000)
SPECIAL CALL - 11/01/21		($210,000)
SPECIAL CALL - 02/01/22		($75,000)
SPECIAL CALL - 05/01/22		($5,000)
SPECIAL CALL - 11/01/22		($5,000)
CURRENT BONDS OUTSTANDING		**$0**

Windward

Community Development District

LONG TERM DEBT REPORT

SERIES 2020A-1, SPECIAL ASSESSMENT REVENUE BONDS		
INTEREST RATES:	3.00%, 3.650%, 4.250%, 4.500%	
MATURITY DATE:	5/1/2051	
RESERVE FUND DEFINITION	50% MAXIMUM ANNUAL DEBT SERVICE	
RESERVE FUND REQUIREMENT	$127,319	
RESERVE FUND BALANCE	$127,319	
BONDS OUTSTANDING - 10/29/20		$4,230,000
PRINCIPAL PAYMENT - 05/01/22		($75,000)
PRINCIPAL PAYMENT - 05/01/23		($80,000)
PRINCIPAL PAYMENT - 05/01/24		($80,000)
SPECIAL CALL - 11/1/24		($15,000)
CURRENT BONDS OUTSTANDING		**$3,980,000**

SERIES 2020A-2, SPECIAL ASSESSMENT REVENUE BONDS		
INTEREST RATES:	4.400%	
MATURITY DATE:	11/1/2035	
RESERVE FUND DEFINITION	50% MAXIMUM ANNUAL INTEREST	
RESERVE FUND REQUIREMENT	$14,520	
RESERVE FUND BALANCE	$25,972	
BONDS OUTSTANDING - 10/29/20		$8,010,000
SPECIAL CALL - 11/01/21		($230,000)
SPECIAL CALL - 02/01/22		($675,000)
SPECIAL CALL - 05/01/22		($480,000)
SPECIAL CALL - 08/01/22		($715,000)
SPECIAL CALL - 11/01/22		($485,000)
SPECIAL CALL - 02/01/23		($1,045,000)
SPECIAL CALL - 05/01/23		($410,000)
SPECIAL CALL - 08/01/23		($410,000)
SPECIAL CALL - 11/01/23		($580,000)
SPECIAL CALL - 02/01/24		($700,000)
SPECIAL CALL - 05/01/24		($420,000)
SPECIAL CALL - 11/01/24		($245,000)
SPECIAL CALL - 02/01/25		($510,000)
CURRENT BONDS OUTSTANDING		**$1,105,000**

Windward

Community Development District

Special Assessment Receipts

Fiscal Year 2025

Gross	$ 1,466,616.83	$ 259,200.00	$ 270,720.00	$ 1,996,536.83
Net	$ 1,378,619.82	$ 243,648.00	$ 254,476.80	$ 1,876,744.62

ON ROLL ASSESSMENTS

							ASSESSED THROUGH COUNTY			
							73.46%	12.98%	13.56%	100.00%
Date	*Distribution*	*Gross Amount*	*Discount/Penalty*	*Commission*	*Interest*	*Net Receipts*	*General Fund*	*S2018 A1 DSF Portion*	*S2020 A1 DSF Portion*	*Total*
11/18/24	ACH	$25,265.53	$0.00	($505.31)	$0.00	$24,760.22	$18,188.37	$3,214.49	$3,357.36	$24,760.22
11/22/24	ACH	$349,308.77	$0.00	($6,986.17)	$0.00	$342,322.60	$251,463.48	$44,441.96	$46,417.16	$342,322.60
12/11/24	ACH	$1,286,489.87	$0.00	($25,729.80)	$0.00	$1,260,760.07	$926,129.64	$163,677.93	$170,952.50	$1,260,760.07
12/20/24	ACH	$62,670.12	$0.00	($1,253.40)	$0.00	$61,416.72	$45,115.52	$7,973.41	$8,327.79	$61,416.72
01/09/25	ACH	$12,829.75	$0.00	($256.60)	$0.00	$12,573.15	$9,235.99	$1,632.31	$1,704.85	$12,573.15
01/09/25	ACH	$28,030.00	$0.00	($560.60)	$0.00	$27,469.40	$20,178.48	$3,566.21	$3,724.71	$27,469.40
01/28/25	ACH	$0.00	$0.00	$0.00	$1,540.27	$1,540.27	$1,131.45	$199.97	$208.85	$1,540.27
02/10/25	ACH	$909.98	$0.00	($18.20)	$0.00	$891.78	$655.08	$115.78	$120.92	$891.78
02/10/25	ACH	$42,478.43	$0.00	($849.57)	$0.00	$41,628.86	$30,579.74	$5,404.46	$5,644.66	$41,628.86
	TOTAL	**$ 1,807,982.45**	**$ -**	**$ (36,159.65)**	**$ 1,540.27**	**$ 1,773,363.07**	**$ 1,302,677.75**	**$ 230,226.52**	**$ 240,458.80**	**$ 1,773,363.07**

94%	**Gross Percent Collected**
$ 103,381.55	**Balance Remaining to Collect**

DIRECT BILL ASSESSMENTS

K. Hovnanian at Mystic Dunes, LLC

			Net Assessments	$51,480.00	$51,480.00
Date Received	Due Date	Check No.	Net Assessed	Amount Received	Debt Service Fund 2020 A2
	4/1/25		$25,740.00		$0.00
	10/1/25		$25,740.00		$0.00
			$ 51,480.00	**$ -**	**$ -**

Windward

Community Development District

Utility Schedule

Fiscal Year 2025

ACCOUNT#	SERVICE ADDRESS	Oct-24	Nov-24	Dec-24	Jan-25	Feb-25	Mar-25	Apr-25	May-25	Jun-25	Jul-25	Aug-25	Sep-25	TOTAL
	Toho Water Authority													
622453-033088619	7900 Four Seasons Even Boulevard Fountain	$92.45	$122.57	$141.13	$150.41									$506.56
622453-033088639	7900 Four Seasons Odd Boulevard Fountain	$46.04	$50.65	$50.65	$46.01									$193.35
622453-033089609	7980 Four Seasons Boulevard GH	$26.72	$28.05	$28.05	$28.05									$110.87
622453-033278979	7700 Four Seasons Block Even	$51,015.41	$68,873.08	$48,855.58	$41,955.58	$57,315.58								$268,015.23
622453-033174559	0 Four Seasons Boulevard - Not on Autopay	$28,113.85	$45,423.95	$47,823.95	$44,831.42									$166,193.17
	TOTALS	**$79,294.47**	**$114,498.30**	**$96,899.36**	**$87,011.47**	**$57,315.58**	**$0.00**	**$0.00**	**$0.00**	**$0.00**	**$0.00**	**$0.00**	**$0.00**	**$435,019.18**
	Duke Energy													
9100 8619 5059	24081 Sandy Creek Trl - Irrigation	$30.80	$30.80	$30.80	$30.80									$123.20
9100 8619 5281	7980 Four Seasons Blvd - Guard House	$145.34	$146.38	$156.72	$166.38									$614.82
9100 8619 5497	79811 Four Seasons Blvd, Entrance Lighting	$750.00	$702.63	$762.65	$618.08									$2,833.36
9100 8619 5801	4 SEASONS PH1B SL	$1,704.42	$1,704.42	$1,542.59	$1,542.59									$6,494.02
9100 8619 6042	7701 Four Seasons Blvd - Gate Entrance Light	$30.80	$30.80	$32.57	$31.20									$125.37
9100 8619 6274	77001 Four Seasons Blvd Gate - Lite Irrigation	$60.14	$59.27	$64.54	$59.72									$243.67
9100 8619 6513	17031 Key Bay Trail, Irrigation Timer	$30.80	$30.80	$30.80	$30.80									$123.20
9100 8619 6761	78151 Four Seasons Blvd, Landscape Lighting	$49.73	$50.61	$55.19	$50.89									$206.42
9100 8619 6977	000 Sand Hill Rd,Lite	$1,725.31	$1,725.31	$1,725.31	$1,538.96	$1,538.96								$8,253.85
9100 8619 7366	000 Shadow Tree Ln Lite	$4,220.57	$4,220.57	$4,220.57	$3,856.65	$3,914.66								$20,433.02
9100 8619 7572	0000 Four Seasons Blvd, Lite	$1,524.28	$1,524.28	$1,394.99	$1,394.99									$5,838.54
9100 8619 7829	21051 Pebble Passage, Lite Irrigation	$61.77	$62.19	$66.06	$60.95									$250.97
9100 8619 8052	79011 Hanson Bay Pl - Irrg	$30.80	$30.80	$30.80	$30.80									$123.20
9101 5373 0124	000 Four Seasons Lite	$1,832.67	$1,832.67	$1,727.57	$1,656.51									$7,049.42
9101 6904 8932	21421 Limestone Trl	$16.94	$16.94	$18.33	$18.85									$71.06
9101 6905 1747	23131 Seagrass Pt RET-POND	$16.94	$17.34	$18.87	$18.81									$71.96
	TOTALS	**$12,231.31**	**$12,185.81**	**$11,878.36**	**$11,106.98**	**$5,453.62**	**$0.00**	**$0.00**	**$0.00**	**$0.00**	**$0.00**	**$0.00**	**$0.00**	**$52,856.08**
	GRAND TOTAL	**$91,525.78**	**$126,684.11**	**$108,777.72**	**$98,118.45**	**$62,769.20**	**$0.00**	**$0.00**	**$0.00**	**$0.00**	**$0.00**	**$0.00**	**$0.00**	**$487,875.26**

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SECTION 4

EXHIBIT C

2020A ACQUISITION AND CONSTRUCTION REQUISITION

The undersigned, an Authorized Officer of Windward Community Development District (the "District") hereby submits the following requisition for disbursement under and pursuant to the terms of the Master Trust Indenture from the District to U.S. Bank National Association, as trustee (the "Trustee"), dated as of November 1, 2018 (the "Master Indenture"), as supplemented by the Second Supplemental Indenture from the District to the Trustee, dated as of October 1, 2020 (the Master Indenture as amended and supplemented is hereinafter referred to as the "Indenture") (all capitalized terms used herein shall have the meaning ascribed to such term in the Indenture):

(A) Requisition Number: 11

(B) Name of Payee: Poulos & Bennett, LLC

(C) Amount Payable: $962.50

(D) Purpose for which paid or incurred (refer also to specific contract if amount is due and payable pursuant to a contract involving progress payments, or, state Costs of Issuance, if applicable): Invoice # 18-021(88) & 18-021(87) - Engineer Services for Oct & Nov 2024

The undersigned hereby certifies that obligations in the stated amount set forth above have been incurred by the District, that each disbursement set forth above is a proper charge against the 2020A Acquisition and Construction Account that each disbursement set forth above was incurred in connection with the acquisition and/or construction of the 2020A Project and each represents a Cost of the 2020A Project, and has not previously been paid.

The undersigned hereby further certifies that there has not been filed with or served upon the District notice of any lien, right to lien, or attachment upon, or claim affecting the right to receive payment of, any of the moneys payable to the Payee set forth above, which has not been released or will not be released simultaneously with the payment hereof.

The undersigned hereby further certifies that such requisition contains no item representing payment on account of any retained percentage which the District is at the date of such certificate entitled to retain.

Attached hereto are originals or duplicate copies of the invoice(s) from the vendor of the property acquired or services rendered with respect to which disbursement is hereby requested.

WINDWARD COMMUNITY DEVELOPMENT DISTRICT

By: _____
Authorized Officer

CONSULTING ENGINEER'S APPROVAL

The undersigned Consulting Engineer hereby certifies that this disbursement is for a Cost of the 2020A Project and is consistent with: (i) the applicable acquisition or construction contract; (ii) the plans and specifications for the portion of the 2020A Project with respect to which such disbursement is being made; and, (ii) the report of the Consulting Engineer for the 2020A Project, as such report shall have been amended or modified on the date hereof. The undersigned further certifies that (a) the 2020A Project improvements to be acquired have been completed in accordance with the plans and specifications therefore; (b) the 2020A Project improvements are constructed in a sound workmanlike manner and in accordance with industry standards; (c) the purchase price to be paid by the District for the 2020A Project improvements is no more than the lesser of (i) the fair market value of such improvements and (ii) the actual cost of construction of such improvements; (d) the plans and specifications for the 2020A Project improvements have been approved by all regulatory bodies required to approve them or such approval can reasonably be expected to be obtained; (e) all currently required approvals and permits for the acquisition, construction, reconstruction, installation and/or equipping of the portion of the 2020A Project for which disbursement is made have been obtained from all applicable regulatory bodies; (f) for that portion of the 2020A Project being acquired, the seller has paid all contractors, subcontractors, and materialmen that have provided services or materials in connection with the portion of the 2020A Project for which disbursement is made hereby; and (g) upon payment of the disbursement hereby, sufficient amounts will remain on deposit in the 2020A Acquisition and Construction Account to complete the 2020A Project.

[CONSULTING ENGINEER]

_____

Title: CDD Engineer

POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St.
Orlando, FL 32803
407-487-2594

Windward CDD
Attn: District Accountant
219 E. Livingston St.
Orlando, FL 32801

Invoice number 18-021(87)
Date 11/11/2024

Project **18-021 WINDWARD CDD**

Professional services for the period ending: October 25, 2024

Invoice Summary

Description	Contract Amount	Percent Complete	Prior Billed	Total Billed	Remaining Percent	Current Billed
.01 CDD ENGINEER	0.00	0.00	85,783.75	86,571.25	0.00	787.50
.991 REIMBURSABLE EXPENSES	0.00	0.00	219.94	219.94	0.00	0.00
Total	0.00		86,003.69	86,791.19		787.50

Hourly Tasks:

.01 CDD Engineer

	Hours	Rate	Billed Amount
Project Manager	4.50	175.00	787.50

.01 CDD Engineer - Site visit to inspect pond contro; structure; Update construction costs for final requisition; Review community wide irrigated areas

Invoice total **787.50**

Aging Summary

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
18-021(86)	10/14/2024	350.00	350.00				
18-021(87)	11/11/2024	787.50	787.50				
	Total	1,137.50	1,137.50	0.00	0.00	0.00	0.00

POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St.
Orlando, FL 32803
407-487-2594

Windward CDD
Attn: District Accountant
219 E. Livingston St.
Orlando, FL 32801

Invoice number 18-021(88)
Date 12/10/2024

Project **18-021 WINDWARD CDD**

Professional services for the period ending: November 22, 2024

Invoice Summary

Description	Contract Amount	Percent Complete	Prior Billed	Total Billed	Remaining Percent	Current Billed
.01 CDD ENGINEER	0.00	0.00	86,571.25	86,746.25	0.00	175.00
.991 REIMBURSABLE EXPENSES	0.00	0.00	219.94	219.94	0.00	0.00
Total	0.00		86,791.19	86,966.19		175.00

Hourly Tasks:

.01 CDD Engineer

	Hours	Rate	Billed Amount
Project Manager	1.00	175.00	175.00

.01 CDD Engineer - Update final requisition spreadsheet

Invoice total **175.00**

Aging Summary

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
18-021(87)	11/11/2024	787.50	787.50				
	Total	787.50	787.50	0.00	0.00	0.00	0.00

EXHIBIT C

2020A ACQUISITION AND CONSTRUCTION REQUISITION

The undersigned, an Authorized Officer of Windward Community Development District (the "District") hereby submits the following requisition for disbursement under and pursuant to the terms of the Master Trust Indenture from the District to U.S. Bank National Association, as trustee (the "Trustee"), dated as of November 1, 2018 (the "Master Indenture"), as supplemented by the Second Supplemental Indenture from the District to the Trustee, dated as of October 1, 2020 (the Master Indenture as amended and supplemented is hereinafter referred to as the "Indenture") (all capitalized terms used herein shall have the meaning ascribed to such term in the Indenture):

(A) Requisition Number: 12

(B) Name of Payee: Latham, Luna, Eden & Beaudine LPP

(C) Amount Payable: $246.20

(D) Purpose for which paid or incurred (refer also to specific contract if amount is due and payable pursuant to a contract involving progress payments, or, state Costs of Issuance, if applicable): Invoice # 136856 - Conveyances/Requisitions for Jan 2025

The undersigned hereby certifies that obligations in the stated amount set forth above have been incurred by the District, that each disbursement set forth above is a proper charge against the 2020A Acquisition and Construction Account that each disbursement set forth above was incurred in connection with the acquisition and/or construction of the 2020A Project and each represents a Cost of the 2020A Project, and has not previously been paid.

The undersigned hereby further certifies that there has not been filed with or served upon the District notice of any lien, right to lien, or attachment upon, or claim affecting the right to receive payment of, any of the moneys payable to the Payee set forth above, which has not been released or will not be released simultaneously with the payment hereof.

The undersigned hereby further certifies that such requisition contains no item representing payment on account of any retained percentage which the District is at the date of such certificate entitled to retain.

Attached hereto are originals or duplicate copies of the invoice(s) from the vendor of the property acquired or services rendered with respect to which disbursement is hereby requested.

WINDWARD COMMUNITY DEVELOPMENT DISTRICT

By: _____
Authorized Officer

CONSULTING ENGINEER'S APPROVAL

The undersigned Consulting Engineer hereby certifies that this disbursement is for a Cost of the 2020A Project and is consistent with: (i) the applicable acquisition or construction contract; (ii) the plans and specifications for the portion of the 2020A Project with respect to which such disbursement is being made; and, (ii) the report of the Consulting Engineer for the 2020A Project, as such report shall have been amended or modified on the date hereof. The undersigned further certifies that (a) the 2020A Project improvements to be acquired have been completed in accordance with the plans and specifications therefore; (b) the 2020A Project improvements are constructed in a sound workmanlike manner and in accordance with industry standards; (c) the purchase price to be paid by the District for the 2020A Project improvements is no more than the lesser of (i) the fair market value of such improvements and (ii) the actual cost of construction of such improvements; (d) the plans and specifications for the 2020A Project improvements have been approved by all regulatory bodies required to approve them or such approval can reasonably be expected to be obtained; (e) all currently required approvals and permits for the acquisition, construction, reconstruction, installation and/or equipping of the portion of the 2020A Project for which disbursement is made have been obtained from all applicable regulatory bodies; (f) for that portion of the 2020A Project being acquired, the seller has paid all contractors, subcontractors, and materialmen that have provided services or materials in connection with the portion of the 2020A Project for which disbursement is made hereby; and (g) upon payment of the disbursement hereby, sufficient amounts will remain on deposit in the 2020A Acquisition and Construction Account to complete the 2020A Project.

[CONSULTING ENGINEER]

_____

Title: CDD Engineer

LATHAM, LUNA, EDEN & BEAUDINE, LLP
ATTORNEYS AT LAW

201 S. ORANGE AVE, STE 1400
POST OFFICE BOX 3353
ORLANDO, FLORIDA 32802

February 17, 2025

Invoice #: 136856
Federal ID #:59-3366512

Windward CDD
c/o GMS-CFL, LLC
219 E. LIVINGSTON STREET
Orlando, FL 32810

Matter ID: 9127-005 Conveyances/Requisitions

For Disbursements Incurred:

1/14/2025	Payment disbursement to Fidelity National Title Insurance Co. for O and E Report. Invoice 12164140	$200.00
1/22/2025	Payment disbursement to Simplifile for Special Warranty Deed - Executed. Invoice 307689653621SFL	$46.20
Total Disbursements Incurred:		**$246.20**

Total	$246.20
Previous Balance	$816.00
Total Due	**$1,062.20**

SECTION D

Windward CDD Field Action Item Tracker

Start date	Action Item	Category	Responsibility	Status	End date	Notes
3/7/2025	Irrigation Line Capping Along Formosa Gardens Fenceline	Irrigation	Developer / CDD	Completed	3/12/2025	After reviewing the fence line plant material with the developer and mystic dunes, multiple breaks were identified in the irrigation lines. As the plant material is already established, the decision was made to cap both lines to correct any deficincies and reduce water wastage.
2/24/2025	Irrigation leak on Four Season BLVD	Irrigation	CDD	Completed	m/d/yyyy	Irrigation leak was reported on 2/24/2025 and prince and sons are addressing the issue.
2/10/2025	Soil Report	Landscaping	CDD	Completed	2/20/2025	Prince and Sons took soil samples on 2/11/25 and sent them out for testing. Results are expected before 2/19/25.
3/1/2025	Doggie Station Bags and Liners	Landscaping	CDD	Completed	3/5/2025	Doggie station bags and liners were ordered and delivered to the landscapers. More bags are being ordered and will be delivered upon arrival.
2/19/2025	Landscaping lighting review and GMS maintenance staff repairs	Landscaping	CDD	In Progress	m/d/yyyy	Landscape lighting issues were reported and are being reviewed by the field manager. BOS approved a $3k NTE to start addressing concerns. Reviewed all lighting with Supervisor Bobonik and compiled a detailed report of all issues. GMS staff completed a majority of the light adjustments and capping of any lights deemed unnecessary on 3/6/2025. Remaining work is being scheduled. Recieved Prince and Sons proposal to remove plants and trim bushes.
3/11/2025	Irrigation Filter Upgrades	Irrigation	CDD	Recieved Proposal	m/d/yyyy	Recieved proposal from Prince and Sons to upgrade the 3 T filters that filter the irrigation lines for clocks 5, 14, and 15. The proposal is to change them to the same Vu flow filters like the rest of the property.
3/12/2025	Irrigation Assessment and Mapping	Irrigation	CDD	Awaiting Proposal	m/d/yyyy	Generated scope to have the entire irrigation system inspected and mapped out. Awaiting proposals for this work.
3/3/2025	Irrigation Controller Timer Adjustment	Irrigation	CDD	In Progress	m/d/yyyy	Prince and Sons was informed to adjust the watering schedule in accordance with TOHO standards.
3/1/2025	Irrigation Line Reroute	Irrigation	CDD	Recieved Proposal	m/d/yyyy	Recieved proposal from Prince and Sons to reroute the irrigation line around a tree due to a line break by Sandy Creek Trail.
3/6/2025	Tree Bubbler Capping in Common Areas	Irrigation	CDD	Recieved Proposal	m/d/yyyy	Proposal recieved from Prince and Sons to cap 1100+ tree bubblers in the CDD common areas.
2/10/2024	Rain Sensors Throughout Community Not Installed Or Working Properly	Irrigation	CDD	Awaiting Proposal	m/d/yyyy	Prince and Sons recommend replacing all rain sensors to ensure proper functionality in the future. Awaiting replacement proposal.
10/19/2024	2-Wire Syastem Still Not Installed And Functioning in Two or More Sections of Community	Irrigation	Developer / CDD	In Progress	m/d/yyyy	By next week completion per 1.9.24
10/19/2024	Some Controllers Still On Solar Because 2-wire Not Completed	Irrigation	Developer / CDD	In Progress	m/d/yyyy	Developer to review - see if this is intended - get with prince for ANY battery op zones - Solar at common area on limestone - Dog park check valves -
2/10/2025	Palm Tree Health Report	Landscaping	CDD	In Progress	m/d/yyyy	Waiting to recieve this from Prince. Previously Requested.
2/10/2025	Fencing Repairs behind Flora Pass	Hardscaping	CDD	Awaiting Proposal	m/d/yyyy	40 vertical slats and 2 top rails need to be replaced on fencing behind 2033 Flora Pass Pl.
1/15/2025	Sod Issues throughout the community	Landscaping	CDD	In Progress	m/d/yyyy	Sodding Proposals being obtained for various locations throughout the community.
1/15/2025	Tree Straightening Proposals	Landscaping	CDD	Recieved Proposal	m/d/yyyy	Tree straightening proposals to be provided for the 2/19 meeting. Previous proposal was tabled at the 1/15 meeting. The proposals area being adjusted to account for any trees left off the original proposal.
9/1/2024	Stormwater Outlet Off Sandy Creek Trail Still Needs Concrete Rim Around Structure Repaired	Stormwater	CDD	In Progress	m/d/yyyy	Area was reviewed by GMS Staff and GMS will be providing repair proposals.
9/1/2024	Stormwater Outlet Off Sandy Creek Trail Still Needs Structure Grates Put Back On For Safety Reasons	Stormwater	CDD	In Progress	m/d/yyyy	Area was reviewed by GMS Staff and GMS will be providing repair proposals.
9/1/2024	Storm Inlets On Ponds Some Are Undermined Need To Be Filled And Install Fabric & RipRap To Stop Erroision	Stormwater	CDD	In Progress	m/d/yyyy	Area was reviewed by GMS Staff and GMS will be providing repair proposals.

Windward CDD Field Action Item Tracker

Start date	Action Item	Category	Responsibility	Status	End date	Notes
9/1/2024	**Sod On BLVD Throughout Community - Sod Is Dead Or Dying**	Landscaping	CDD	Recieved Proposal	m/d/yyyy	A proposal is being presented at the 2/19 Meeting regarding replacement of these areas,
10/19/2024	**Valve Boxes Throughout Community Need Replacing Or Lift Due To Landscaping Damage.**	Landscaping	CDD	Awaiting Proposal	m/d/yyyy	Prince instructed to obtain proposal for repair.
10/19/2024	**Crack's And Chips In Sidwalks, Curbing And Storm Structures Throughout Development**	Hardscaping	CDD	Awaiting Proposal	m/d/yyyy	Sidewalks signed off on by permitting agency - general repair item
10/19/2024	**Need Fence Extended On CDD Property Off Flora Pass Place & FS Bvld. Along Hole # 2 On Golf Course.**	Hardscaping	Developer / CDD	Awaiting Proposal	m/d/yyyy	One Panel needed. Obtaining a cost.
4/22/2024	**Wall at Limestone Behind Homes on FSB Needs Raised Up**	Hardscaping	Developer	Awaiting Proposal	m/d/yyyy	Develoer to provide update later
4/22/2024	**Review Master Sign Plan for Missing Street Signs, Stop Signs, and Misplaced Signs**	Hardscaping	Developer	Awaiting Proposal	m/d/yyyy	Tom to provide info to developer 1.9.24 and missing items
4/22/2024	**Safety Mat/Truncated Domes not Installed at Flora Pass and FSB**	Hardscaping	Developer	In Progress	m/d/yyyy	Developer working on this. One is installed. One more needs to be installed.
4/22/2024	**Key Bay Trail - Drain Clean Up - Missing Headwall and Rip Rap**	Stormwater	Developer	In Progress	m/d/yyyy	Developer meeting with contractor. Work is underway as of Jan 2025.
2/10/2024	**Landscaping Cleanup Behind Comfort Station Near Front Entrance**	Landscaping	CDD	In Progress	m/d/yyyy	Prince and Sons were alerted the area was in need of a landscaping / debris cleanup. Working with the account managers to have this done as soon as possible.

Scope for Irrigation System Assessment

1. Introduction and Objective

- **Purpose**: The primary purpose of this assessment is to evaluate the current irrigation system to determine its efficiency, effectiveness, and functionality in terms of water usage, coverage, and overall system performance.
- **Objective**: To identify areas of improvement, reduce water wastage, enhance system performance, map out the locations of all zones and controllers, and recommend solutions for optimization of the irrigation system.

2. Scope of Work The assessment will cover the following components:

- **System Overview**: Review and documentation of the current irrigation system, including its design, components (e.g., pumps, pipes, valves, controllers, sprinklers), and layout. A map of the CDD system will need to be generated that shows the location of all zones, filters and controllers, and identifying any parts of the system that are on battery timers.
- **Water Source Evaluation**: Assessment of the water source(s) supplying the system, including flow rates, water quality, and availability.
- **Hydraulic Design Review**: Evaluation of the hydraulic efficiency of the system, including pressure and flow distribution across the system.
- **Water Usage Assessment**: Review of water consumption data, identifying usage patterns and potential water wastage or over-application.
- **Coverage Analysis**: Analysis of the irrigation coverage to ensure uniformity and identify any areas with over- or under-irrigation.
- **Soil Requirements**: Understanding of the specific soil water needs to ensure the system meets agronomic requirements.
- **Equipment Condition & Performance**: Physical inspection of the irrigation equipment for wear and tear, maintenance needs, and potential for upgrades or repairs.
- **Automation & Control System Evaluation**: Assessment of the control systems (manual or automated), including timers, sensors, and weather-based controllers.
- **Energy Efficiency Assessment**: Review of energy consumption for the system, focusing on pump efficiency, power requirements, and opportunities for energy savings.
- **System Maintenance & Management**: Review of current maintenance schedules, protocols, and management practices to assess the system's long-term viability.

3. Methodology The assessment will be conducted using a combination of the following techniques:

- **Site Visits**: On-site inspection of the irrigation system, including visual checks and measurements.
- **Flow and Pressure Testing**: Measurements of water flow and pressure at various points of the system.
- **Water Consumption Data Review**: Analysis of historical water usage and comparison with sod and plant material water requirements.
- **Interviews/Discussions**: Meetings with operators and management to understand system operations and challenges.

- **Soil Sampling & Analysis**: Sampling soil moisture levels and conducting tests to determine irrigation needs.
- **Equipment Inspections**: Evaluation of equipment performance, including pumps, sprinklers, valves, filters, and controllers.

4. Deliverables

- **Assessment Report**: A comprehensive report including findings from the evaluation of each component of the irrigation system, detailed data analysis, and photographs (if necessary).

- **System Map**: A comprehensive map showing the precise locations of valves, controllers, battery op timers, system sections, filters, and coverage areas.
- **Recommendations**: A set of actionable recommendations for improvements based on identified inefficiencies or performance gaps and a proposal for these improvements.
- **Cost-Benefit Analysis**: An assessment of the potential costs and benefits of recommended upgrades or changes to the irrigation system.
- **Energy Efficiency Report**: A focused analysis on energy consumption and any opportunities for savings or sustainable energy options.
- **System Optimization Plan**: A prioritized plan for improving system design, maintenance, or technology upgrades, including timelines and implementation suggestions.

5. Timeline The estimated duration of the irrigation system assessment is as follows:

- **Week 1-2**: Site visits, data collection, and interviews with operators.
- **Week 3-4**: Data analysis, including flow testing, equipment inspection, and water usage review.
- **Week 5**: Compilation of findings, recommendations, and development of the final report.
- **Week 6**: Presentation of findings and final report delivery.

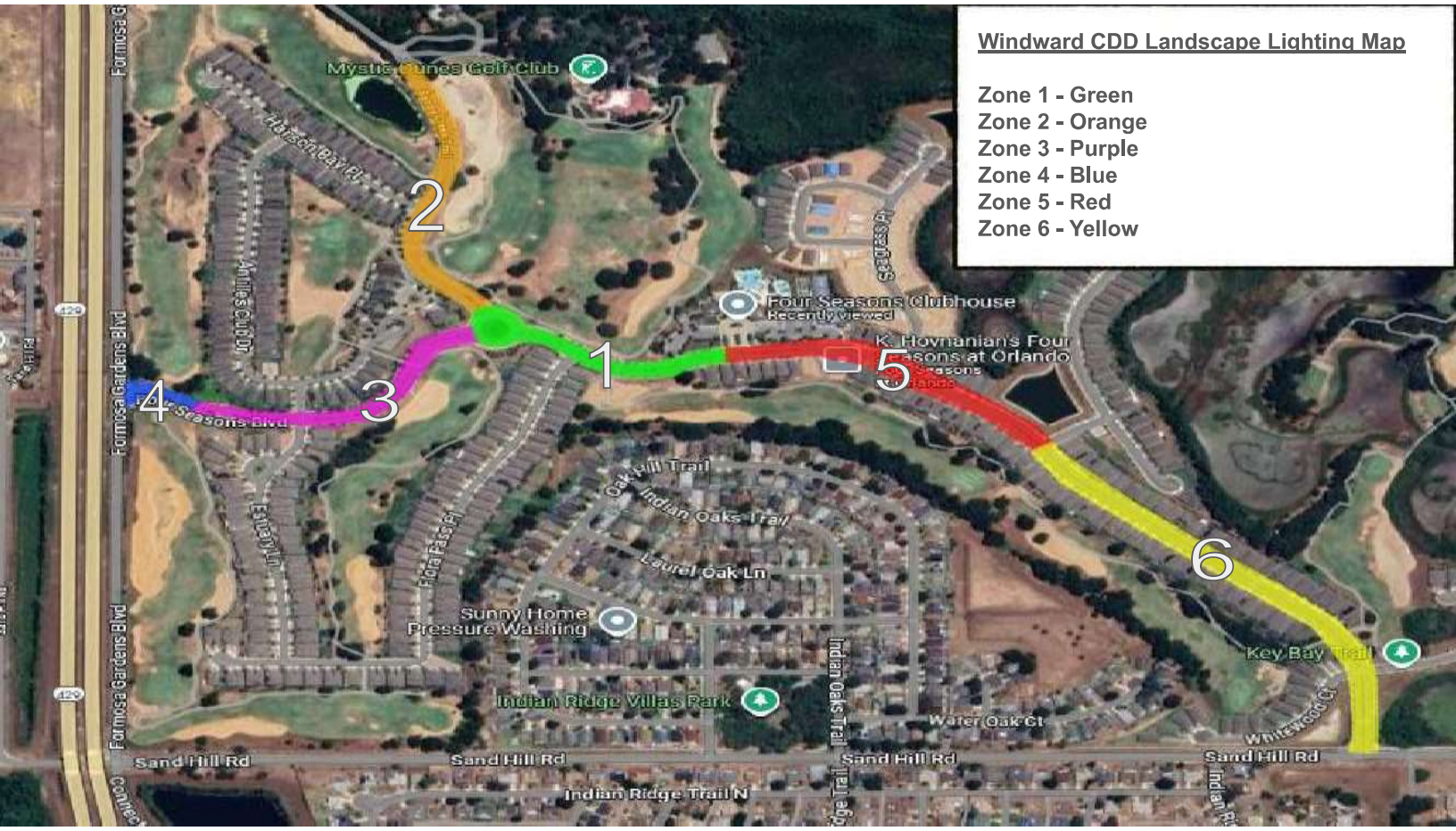
6. Assumptions

- Access to the site and the necessary operational data will be provided by the management staff.
- No major system redesign or large-scale capital investments will be made unless recommended as part of the assessment.
- The client can choose to implement the recommendations based on the assessment, assuming the budget allows.

7. Exclusions

- The assessment will not include any system redesign or construction activities.
- The assessment does not cover water quality testing beyond basic parameters related to the system's operation.

8. Conclusion The irrigation system assessment will provide valuable insights into the current performance and efficiency of the system. Based on the findings, actionable recommendations will be made to improve system efficiency, reduce water wastage, and optimize energy use. The assessment will help ensure that the irrigation system is sustainable, cost-effective, and aligned with best practices in water management.


Windward CDD Landscape Lighting Map
Zone 1 - Green
Zone 2 - Orange
Zone 3 - Purple
Zone 4 - Blue
Zone 5 - Red
Zone 6 - Yellow
1
2
3
4
5
6
Mystic Dunes Golf Club
Four Seasons Clubhouse
Recently viewed
K. Hovnanian's Four Seasons at Orlando
Formosa Gardens Blvd
Sand Hill Rd
Indian Ridge Trail N
Indian Ridge Villas Park
Sunny Home Pressure Washing
Oak Hill Trail
Indian Oaks Trail
Laurel Oak Ln
Key Bay Trail
Water Oak Ct
Whitewood Dr
Seagrass Pl
Antiles Club Dr
Estero Ln
Ada Pass Pl
Harbor Bay Pl

Zone 1 - Green

Site Report

18396555410

Reference Number: **20250228-18396555410**	Form Name: **Site Report**
Submitter Name: **Jarett Wright | jwright@gmscfl.com**	Date Sent on Device: **Feb 28, 2025 9:17:44 AM EST**
Location: **2104 Antilles Club Dr, Kissimmee, FL 34747, USA Feb 28, 2025 9:17:39 AM EST [View Map]**	

NEW PAGE

District Status Review

District	Windward cdd
Site Inspected By	Jarett Wright - Field Manager

Issue Details

ISSUE DETAILS 1 OF 11

Issue Details

Date / Time	Feb 28, 2025 8:55:00 AM EST
Assignment	CF Maintenance
GeoLocation	7813 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3095053 altitude: 7.7 longitude: -81.6004337 [viewMap]
Action Item Picture	


Action Item Description	Remove light and cap.
Request Vendor Proposal	No

ISSUE DETAILS 2 OF 11

Issue Details

Date / Time	Feb 28, 2025 8:55:00 AM EST
Assignment	CF Maintenance
GeoLocation	7816 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3093706 altitude: 6.7 longitude: -81.600536 [viewMap]

Action Item Picture


Action Item Description	Straighten light and add box cover
Request Vendor Proposal	No

ISSUE DETAILS 3 OF 11

Issue Details

Date / Time	Feb 28, 2025 8:55:00 AM EST
Assignment	Landscaper
GeoLocation	2093 Flora Pass Pl, Kissimmee, FL 34747, USA latitude: 28.3088023 altitude: 10.1 longitude: -81.6017156 [viewMap]
Action Item Picture	
Action Item Description	Trim bushes in front of light. adjust light alignment.
Request Vendor Proposal	No

ISSUE DETAILS 4 OF 11

Issue Details

Date / Time	Feb 28, 2025 8:55:00 AM EST
Assignment	CF Maintenance
GeoLocation	2093 Flora Pass Pl, Kissimmee, FL 34747, USA latitude: 28.3088648 altitude: 11.1 longitude: -81.6013601 [viewMap]
Action Item Picture	


Action Item Description	Align light and secure cover.
Request Vendor Proposal	No

ISSUE DETAILS 5 OF 11

Issue Details

Date / Time	Feb 28, 2025 8:55:00 AM EST
Assignment	CF Maintenance
GeoLocation	1575 Oak Hill Trail, Kissimmee, FL 34747, USA latitude: 28.3084282 altitude: 7.7 longitude: -81.6012488 [viewMap]
Action Item Picture	
Action Item Description	Align light.

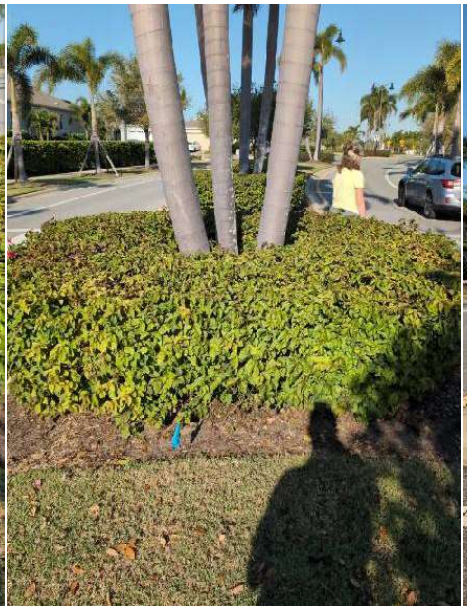
Request Vendor Proposal	No

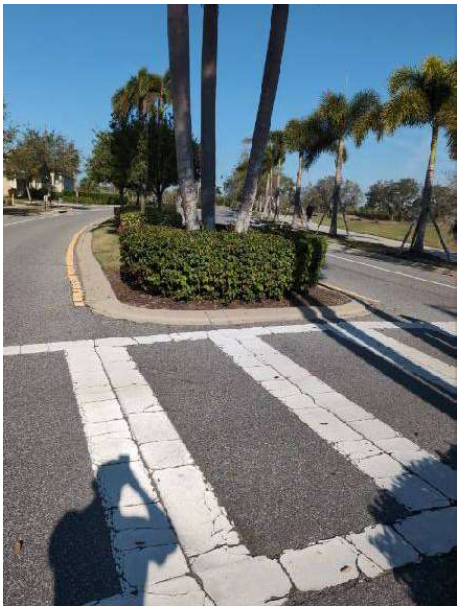
ISSUE DETAILS 6 OF 11

Issue Details

Date / Time	Feb 28, 2025 8:55:00 AM EST
Assignment	Landscaper
GeoLocation	2093 Flora Pass Pl, Kissimmee, FL 34747, USA latitude: 28.3088413 altitude: 7.7 longitude: -81.6014555 [viewMap]

Action Item Picture



Action Item Description	Remove plant material on both sides of cart path and proposal to replace with rock.

Request Vendor Proposal	Yes

ISSUE DETAILS 7 OF 11

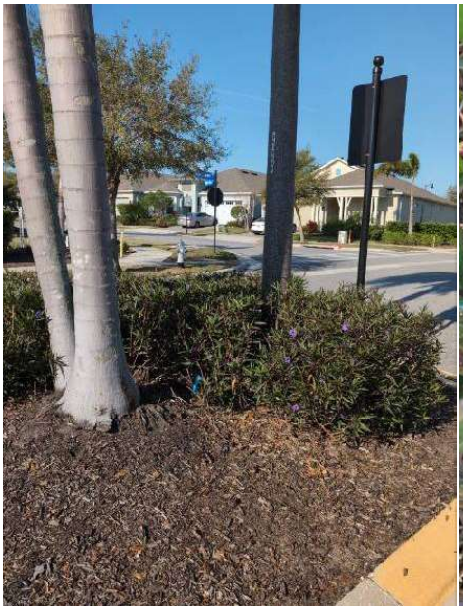
Issue Details

Date / Time	Feb 28, 2025 8:55:00 AM EST
Assignment	CF Maintenance
GeoLocation	2093 Flora Pass Pl, Kissimmee, FL 34747, USA latitude: 28.3089326 altitude: 10.1 longitude: -81.6013516 [viewMap]
Action Item Picture	
Action Item Description	Align light.
Request Vendor Proposal	No

ISSUE DETAILS 8 OF 11

Issue Details

Date / Time	Feb 28, 2025 8:55:00 AM EST
Assignment	Landscaper
GeoLocation	2093 Flora Pass Pl, Kissimmee, FL 34747, USA latitude: 28.3091152 altitude: 9.8 longitude: -81.6019161 [viewMap]
Action Item Picture	




Action Item Description Remove plant material and cap irrigation in the bed. Palm tree irrigation stays in place. Proposal to rock in area. CF maintenance remove and cap light.

Request Vendor Proposal Yes

ISSUE DETAILS 9 OF 11

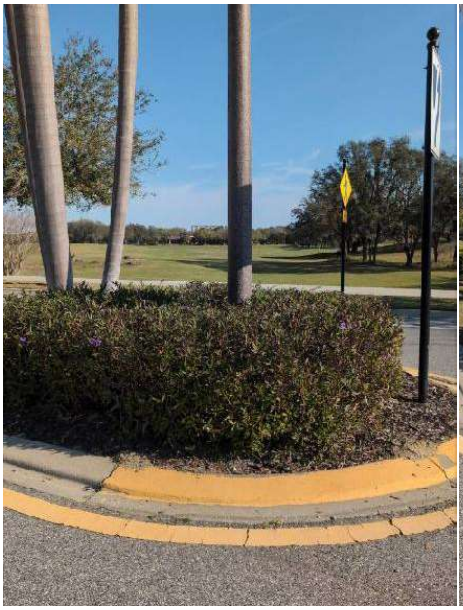
Issue Details

Date / Time Feb 28, 2025 8:55:00 AM EST

Assignment Landscaper

GeoLocation 2093 Flora Pass Pl, Kissimmee, FL 34747, USA
latitude: 28.3089688 altitude: 9.8
longitude: -81.601836 [viewMap]

Action Item Picture



Action Item Description	Remove plant material and cap irrigation in the bed. Palm tree irrigation stays in place. Proposal to rock in area. CF maintenance align light.
Request Vendor Proposal	Yes

ISSUE DETAILS 10 OF 11

Issue Details

Date / Time	Feb 28, 2025 8:55:00 AM EST
Assignment	CF Maintenance
GeoLocation	7850 Shadow Tree Ln, Kissimmee, FL 34747, USA latitude: 28.3125223 altitude: 8.3 longitude: -81.6014219 [viewMap]
Action Item Picture	
Action Item Description	Align light.
Request Vendor Proposal	No

ISSUE DETAILS 11 OF 11

Issue Details

Date / Time	Feb 28, 2025 8:55:00 AM EST
Assignment	Landscaper
GeoLocation	2104 Antilles Club Dr, Kissimmee, FL 34747, USA latitude: 28.3096546 altitude: 8.1 longitude: -81.6031576 [viewMap]
Action Item Picture	




Action Item Description	Remove plant material and cap irrigation in the bed. Palm tree irrigation stays in place. Proposal to rock in area.
Request Vendor Proposal	Yes

Zone 2- Orange

Site Report

18396556401

Reference Number: **20250228-18396556401**	Form Name: **Site Report**
Submitter Name: **Jarett Wright | jwright@gmscfl.com**	Date Sent on Device: **Feb 28, 2025 9:35:20 AM EST**
Location: **7913 Hanson Bay Pl, Kissimmee, FL 34747, USA Feb 28, 2025 9:35:19 AM EST [View Map]**	

NEW PAGE

District Status Review

District	Windward CDD
Site Inspected By	Jarett Wright - Field Manager

Issue Details

ISSUE DETAILS 1 OF 13

Issue Details

Date / Time	Feb 28, 2025 9:18:00 AM EST
Assignment	CF Maintenance
GeoLocation	2104 Antilles Club Dr, Kissimmee, FL 34747, USA latitude: 28.3097657 altitude: 8.2 longitude: -81.6031721 [viewMap]
Action Item Picture	


Action Item Description	Align light.
Request Vendor Proposal	No

ISSUE DETAILS 2 OF 13

Issue Details

Date / Time	Feb 28, 2025 9:18:00 AM EST
Assignment	CF Maintenance
GeoLocation	2104 Antilles Club Dr, Kissimmee, FL 34747, USA latitude: 28.3097225 altitude: 8.1 longitude: -81.6032395 [viewMap]
Action Item Picture	
Action Item Description	Straighten and align light.

Request Vendor Proposal	No

ISSUE DETAILS 3 OF 13

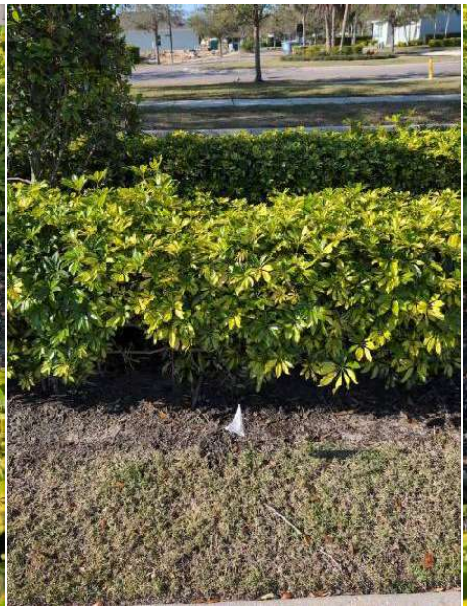
Issue Details

Date / Time	Feb 28, 2025 9:18:00 AM EST
Assignment	CF Maintenance
GeoLocation	2044 Flora Pass Pl, Kissimmee, FL 34747, USA latitude: 28.3079234 altitude: 8.1 longitude: -81.6026893 [viewMap]
Action Item Picture	
Action Item Description	Remove Light and cap.
Request Vendor Proposal	No

ISSUE DETAILS 4 OF 13

Issue Details

Date / Time	Feb 28, 2025 9:18:00 AM EST
Assignment	CF Maintenance
GeoLocation	2104 Antilles Club Dr, Kissimmee, FL 34747, USA latitude: 28.3097443 altitude: 8.2 longitude: -81.6035298 [viewMap]
Action Item Picture	


Action Item Description	Remove and cap 2 lights in bushes.
Request Vendor Proposal	No

ISSUE DETAILS 5 OF 13

Issue Details

Date / Time	Feb 28, 2025 9:18:00 AM EST
Assignment	CF Maintenance
GeoLocation	2245 Antilles Club Dr, Kissimmee, FL 34747, USA latitude: 28.3111215 altitude: 7.2 longitude: -81.6049161 [viewMap]
Action Item Picture	
Action Item Description	Remove and cap light in bushes.

Request Vendor Proposal	No

ISSUE DETAILS 6 OF 13

Issue Details

Date / Time	Feb 28, 2025 9:18:00 AM EST
Assignment	Landscaper
GeoLocation	7900 Hanson Bay Pl, Kissimmee, FL 34747, USA latitude: 28.3107799 altitude: 6.7 longitude: -81.6044723 [viewMap]
Action Item Picture	
Action Item Description	Proposal to remove sod and rock in.
Request Vendor Proposal	Yes

ISSUE DETAILS 7 OF 13

Issue Details

Date / Time	Feb 28, 2025 9:18:00 AM EST
Assignment	CF Maintenance
GeoLocation	7900 Hanson Bay Pl, Kissimmee, FL 34747, USA latitude: 28.3107799 altitude: 6.7 longitude: -81.6044723 [viewMap]

Action Item Picture

Action Item Description Remove and cap light in bushes.

Request Vendor Proposal No

ISSUE DETAILS 8 OF 13

Issue Details

Date / Time Feb 28, 2025 9:18:00 AM EST

Assignment CF Maintenance

GeoLocation 7900 Hanson Bay Pl, Kissimmee, FL 34747, USA
latitude: 28.3110298 altitude: 6.8
longitude: -81.6042995 [viewMap]

Action Item Picture

Action Item Description Remove and cap light in bushes.

Request Vendor Proposal No

ISSUE DETAILS 9 OF 13

Issue Details

Date / Time	Feb 28, 2025 9:18:00 AM EST
Assignment	CF Maintenance
GeoLocation	7905 Hanson Bay Pl, Kissimmee, FL 34747, USA latitude: 28.3112604 altitude: 6.8 longitude: -81.6036517 [viewMap]

Action Item Picture

Action Item Description	Remove and cap light in bushes.
Request Vendor Proposal	No

ISSUE DETAILS 10 OF 13

Issue Details

Date / Time	Feb 28, 2025 9:18:00 AM EST
Assignment	Landscaper
GeoLocation	7905 Hanson Bay Pl, Kissimmee, FL 34747, USA latitude: 28.3121182 altitude: 7.9 longitude: -81.6031007 [viewMap]

Action Item Picture



Action Item Description	Remove bushes and trees along cart path and rock in area. CF maintenance remove and cap lights.
Request Vendor Proposal	No

ISSUE DETAILS 11 OF 13

Issue Details

Date / Time	Feb 28, 2025 9:18:00 AM EST
Assignment	CF Maintenance
GeoLocation	7850 Shadow Tree Ln, Kissimmee, FL 34747, USA latitude: 28.3125425 altitude: 8.1 longitude: -81.6014767 [viewMap]
Action Item Picture	
Action Item Description	Straight light base and align light.

Request Vendor Proposal	No

ISSUE DETAILS 12 OF 13

Issue Details

Date / Time	Feb 28, 2025 9:18:00 AM EST
Assignment	CF Maintenance
GeoLocation	7850 Shadow Tree Ln, Kissimmee, FL 34747, USA latitude: 28.3125425 altitude: 8.1 longitude: -81.6014767 [viewMap]
Action Item Picture	
Action Item Description	Remove and cap light in bushes.
Request Vendor Proposal	No

ISSUE DETAILS 13 OF 13

Issue Details

Date / Time	Feb 28, 2025 9:18:00 AM EST
Assignment	CF Maintenance
GeoLocation	7850 Shadow Tree Ln, Kissimmee, FL 34747, USA latitude: 28.3120564 altitude: 7.9 longitude: -81.6017743 [viewMap]

Action Item Picture

Action Item Description	Remove and cap light in bushes.
Request Vendor Proposal	No

Zone 3 - Purple

Site Report

18396556743

Reference Number: **20250228-18396556743**	Form Name: **Site Report**
Submitter Name: **Jarett Wright | jwright@gmscfl.com**	Date Sent on Device: **Feb 28, 2025 10:00:11 AM EST**
Location: **2168 Antilles Club Dr, Kissimmee, FL 34747, USA Feb 28, 2025 9:59:36 AM EST [View Map]**	

NEW PAGE

District Status Review

District	Windward CDD
Site Inspected By	Jarett Wright - Field Manager

Issue Details

ISSUE DETAILS 1 OF 9

Issue Details

Date / Time	Feb 28, 2025 9:36:00 AM EST
Assignment	CF Maintenance
GeoLocation	2104 Antilles Club Dr, Kissimmee, FL 34747, USA latitude: 28.3097189 altitude: 8.2 longitude: -81.6033473 [viewMap]
Action Item Picture	


Action Item Description	Remove and cap lights in bushes.
Request Vendor Proposal	No

ISSUE DETAILS 2 OF 9

Issue Details

Date / Time	Feb 28, 2025 9:36:00 AM EST
Assignment	CF Maintenance
GeoLocation	2032 Flora Pass Pl, Kissimmee, FL 34747, USA latitude: 28.3078979 altitude: 12.900001 longitude: -81.6032222 [viewMap]
Action Item Picture	
Action Item Description	Remove and cap light.

Request Vendor Proposal	No

ISSUE DETAILS 3 OF 9

Issue Details

Date / Time	Feb 28, 2025 9:36:00 AM EST
Assignment	CF Maintenance
GeoLocation	2032 Flora Pass Pl, Kissimmee, FL 34747, USA latitude: 28.3078979 altitude: 12.900001 longitude: -81.6032222 [viewMap]
Action Item Picture	
Action Item Description	Adjust light alignment.
Request Vendor Proposal	No

ISSUE DETAILS 4 OF 9

Issue Details

Date / Time	Feb 28, 2025 9:36:00 AM EST
Assignment	CF Maintenance
GeoLocation	2136 Antilles Club Dr, Kissimmee, FL 34747, USA latitude: 28.3089322 altitude: 8.6 longitude: -81.6045353 [viewMap]
Action Item Picture	


Action Item Description	Remove and cap lights in bushes.
Request Vendor Proposal	No

ISSUE DETAILS 5 OF 9

Issue Details

Date / Time	Feb 28, 2025 9:36:00 AM EST
Assignment	Landscaper
GeoLocation	2140 Antilles Club Dr, Kissimmee, FL 34747, USA latitude: 28.3083664 altitude: 8.6 longitude: -81.6042263 [viewMap]

Action Item Picture

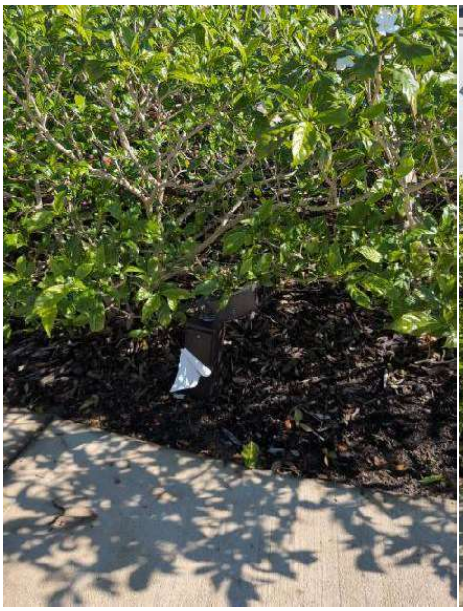

Action Item Description	Trim bushes around light so that it can be accessed and does not block the light.
Request Vendor Proposal	No

ISSUE DETAILS 6 OF 9

Issue Details

Date / Time	Feb 28, 2025 9:36:00 AM EST
Assignment	CF Maintenance
GeoLocation	2152 Antilles Club Dr, Kissimmee, FL 34747, USA latitude: 28.3082158 altitude: 10.3 longitude: -81.6048709 [viewMap]

Action Item Picture




Action Item Description	Remove light in bushes and cap.
Request Vendor Proposal	No

ISSUE DETAILS 7 OF 9

Issue Details

Date / Time	Feb 28, 2025 9:36:00 AM EST
Assignment	CF Maintenance
GeoLocation	2152 Antilles Club Dr, Kissimmee, FL 34747, USA latitude: 28.3084769 altitude: 10.200001 longitude: -81.6050452 [viewMap]

Action Item Picture

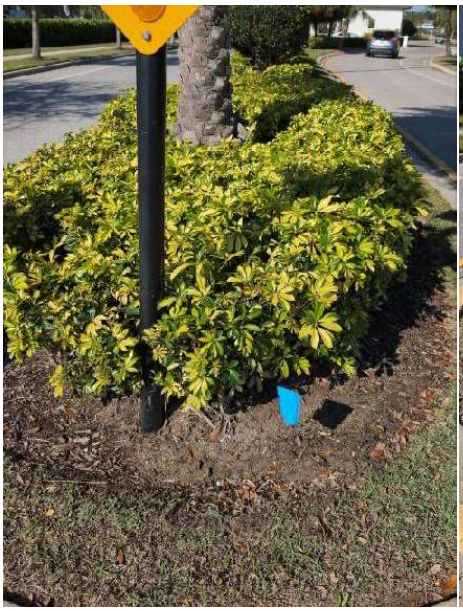

Action Item Description	Remove and cap light in bushes.
Request Vendor Proposal	No

ISSUE DETAILS 8 OF 9

Issue Details

Date / Time	Feb 28, 2025 9:36:00 AM EST
Assignment	CF Maintenance
GeoLocation	7955 Sabal Point Loop, Kissimmee, FL 34747, USA latitude: 28.3079441 altitude: 10.3 longitude: -81.6049814 [viewMap]

Action Item Picture



Action Item Description	Trim back bushes so that the light isn't blocked.

Request Vendor Proposal	No

ISSUE DETAILS 9 OF 9

Issue Details

Date / Time	Feb 28, 2025 9:36:00 AM EST
Assignment	Landscaper
GeoLocation	2164 Antilles Club Dr, Kissimmee, FL 34747, USA latitude: 28.3082413 altitude: 11.423397 longitude: -81.6057533 [viewMap]

Action Item Picture


Action Item Description	Create a donut around the palm tree / light so that it is not blocked.
Request Vendor Proposal	No

Zone 4 - Blue

Site Report

18396561099

Reference Number: **20250228-18396561099**	Form Name: **Site Report**
Submitter Name: **Jarett Wright | jwright@gmscfl.com**	Date Sent on Device: **Feb 28, 2025 10:15:55 AM EST**
Location: **2172 Antilles Club Dr, Kissimmee, FL 34747, USA Feb 28, 2025 10:15:33 AM EST [View Map]**	

NEW PAGE

District Status Review

District	Windward CDD
Site Inspected By	Jarett Wright - Field Manager

Issue Details

ISSUE DETAILS 1 OF 4

Issue Details

Date / Time	Feb 28, 2025 10:05:00 AM EST
Assignment	Landscaper
GeoLocation	2172 Antilles Club Dr, Kissimmee, FL 34747, USA latitude: 28.3086105 altitude: 8.5 longitude: -81.6067185 [viewMap]

Action Item Picture

Action Item Description Clear plants so that the light is not blocked.

Request Vendor Proposal No

ISSUE DETAILS 2 OF 4

Issue Details

Date / Time Feb 28, 2025 10:05:00 AM EST

Assignment CF Maintenance

GeoLocation 8036 King Palm Cir, Kissimmee, FL 34747, USA
latitude: 28.3143637 altitude: 8.5
longitude: -81.6077883 [viewMap]

Action Item Picture

Action Item Description Remove and cap light in bushes.

Request Vendor Proposal	No

ISSUE DETAILS 3 OF 4

Issue Details

Date / Time	Feb 28, 2025 10:05:00 AM EST
Assignment	CF Maintenance
GeoLocation	2172 Antilles Club Dr, Kissimmee, FL 34747, USA latitude: 28.3085196 altitude: 9.2 longitude: -81.6065008 [viewMap]
Action Item Picture	
Action Item Description	Adjust light so that it is parallel to the ground and light difuses through the bushes.
Request Vendor Proposal	No

ISSUE DETAILS 4 OF 4

Issue Details

Date / Time	Feb 28, 2025 10:05:00 AM EST
Assignment	CF Maintenance
GeoLocation	2172 Antilles Club Dr, Kissimmee, FL 34747, USA latitude: 28.3086248 altitude: 8.5 longitude: -81.6067282 [viewMap]

Action Item Picture

Action Item Description	Replace broken light with a working one.
Request Vendor Proposal	No

Zone 5 - Red

Site Report

18396563222

Reference Number: **20250228-18396563222**	Form Name: **Site Report**
Submitter Name: **Jarett Wright | jwright@gmscfl.com**	Date Sent on Device: **Feb 28, 2025 10:43:59 AM EST**
Location: **7767 Four Seasons Blvd, Kissimmee, FL 34747, USA Feb 28, 2025 10:43:44 AM EST [View Map]**	

NEW PAGE

District Status Review

District	Windward CDD
Site Inspected By	Jarett Wright - Field Manager

Issue Details

ISSUE DETAILS 1 OF 13

Issue Details

Date / Time	Feb 28, 2025 10:26:00 AM EST
Assignment	Landscaper
GeoLocation	7816 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.309167 altitude: 7.7 longitude: -81.6006172 [viewMap]

Action Item Picture

Action Item Description	Trim bushes away from light.
Request Vendor Proposal	No

ISSUE DETAILS 2 OF 13

Issue Details

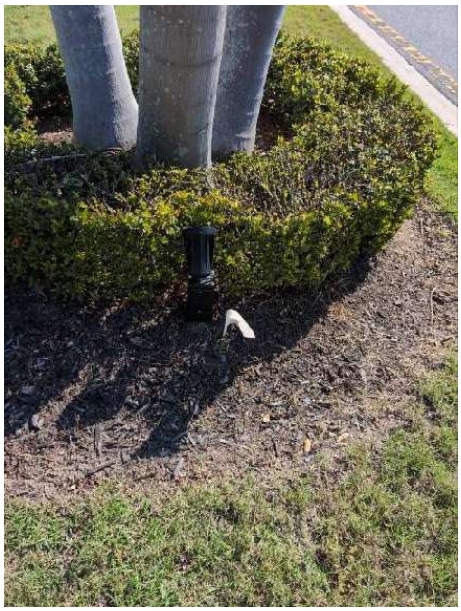
Date / Time	Feb 28, 2025 10:26:00 AM EST
Assignment	Landscaper
GeoLocation	7814 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3092548 altitude: 6.4 longitude: -81.6003249 [viewMap]

Action Item Picture

Action Item Description	Trim bushes around light and remove dead plant material.
Request Vendor Proposal	No

ISSUE DETAILS 3 OF 13

Issue Details

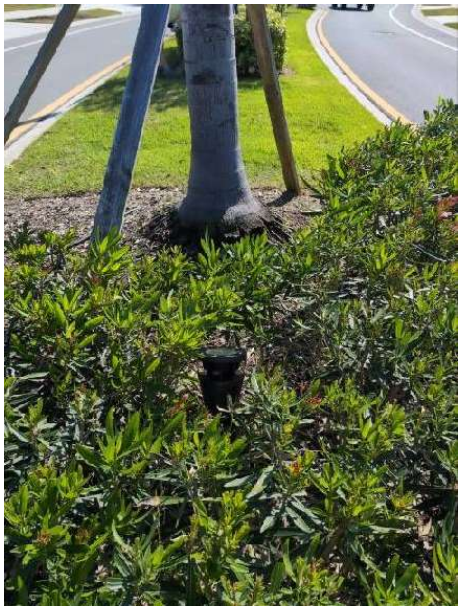
Date / Time	Feb 28, 2025 10:26:00 AM EST
Assignment	CF Maintenance
GeoLocation	7810 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3091759 altitude: 6.4 longitude: -81.5999785 [viewMap]
Action Item Picture	
Action Item Description	Adjust light alignment.
Request Vendor Proposal	No

ISSUE DETAILS 4 OF 13

Issue Details

Date / Time	Feb 28, 2025 10:26:00 AM EST
Assignment	Landscaper
GeoLocation	7804 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.309231 altitude: 6.7 longitude: -81.5994907 [viewMap]

Action Item Picture



Action Item Description Trim bushes around light.

Request Vendor Proposal No

ISSUE DETAILS 5 OF 13

Issue Details

Date / Time Feb 28, 2025 10:26:00 AM EST

Assignment Landscaper

GeoLocation 7814 Myrtle Oak Ln, Kissimmee, FL 34747, USA
latitude: 28.3092313 altitude: 5.7
longitude: -81.5988911 [viewMap]

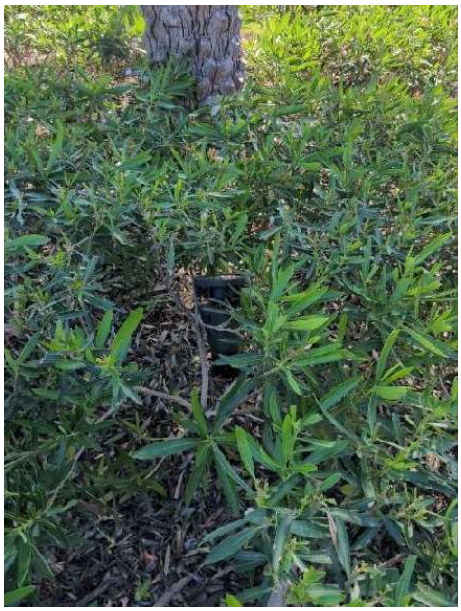
Action Item Picture

Action Item Description Trim bushes around light.

Request Vendor Proposal No

ISSUE DETAILS 6 OF 13

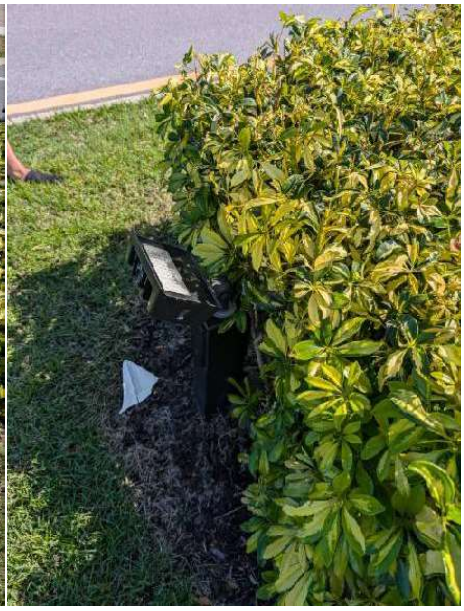
Issue Details

Date / Time	Feb 28, 2025 10:26:00 AM EST
Assignment	Landscaper
GeoLocation	7793 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3088676 altitude: 5.5 longitude: -81.5983217 [viewMap]
Action Item Picture	
Action Item Description	Trim bushes around light.
Request Vendor Proposal	No

ISSUE DETAILS 7 OF 13

Issue Details

Date / Time	Feb 28, 2025 10:26:00 AM EST
Assignment	CF Maintenance
GeoLocation	7788 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3086459 altitude: 4.7000003 longitude: -81.5981568 [viewMap]
Action Item Picture	

Action Item Description	Remove and cap 2 x lights.
Request Vendor Proposal	No

ISSUE DETAILS 8 OF 13

Issue Details

Date / Time	Feb 28, 2025 10:26:00 AM EST
Assignment	CF Maintenance
GeoLocation	7785 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3085957 altitude: 4.8 longitude: -81.5977363 [viewMap]
Action Item Picture	
Action Item Description	Adjust light alignment.

Request Vendor Proposal	No

ISSUE DETAILS 9 OF 13

Issue Details

Date / Time	Feb 28, 2025 10:26:00 AM EST
Assignment	CF Maintenance
GeoLocation	7781 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3084292 altitude: 3.8999999 longitude: -81.5974153 [viewMap]
Action Item Picture	
Action Item Description	Adjust light alignment.
Request Vendor Proposal	No

ISSUE DETAILS 10 OF 13

Issue Details

Date / Time	Feb 28, 2025 10:26:00 AM EST
Assignment	CF Maintenance
GeoLocation	7781 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3084292 altitude: 3.8999999 longitude: -81.5974153 [viewMap]

Action Item Picture

Action Item Description Adjust light alignment.

Request Vendor Proposal No

ISSUE DETAILS 11 OF 13

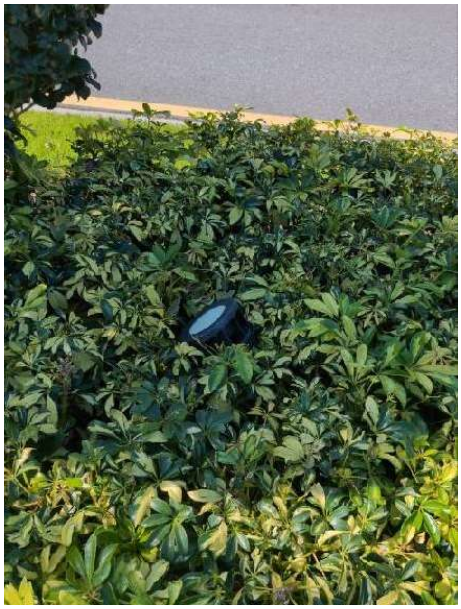
Issue Details

Date / Time Feb 28, 2025 10:26:00 AM EST

Assignment CF Maintenance

GeoLocation 7781 Four Seasons Blvd, Kissimmee, FL 34747, USA
latitude: 28.3084044 altitude: 3.7
longitude: -81.5973197 [viewMap]

Action Item Picture

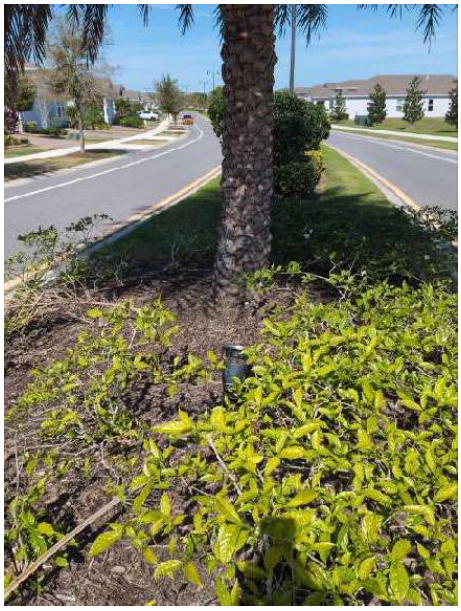


Action Item Description Remove and cap light in bushes.

Request Vendor Proposal	No

ISSUE DETAILS 12 OF 13

Issue Details

Date / Time	Feb 28, 2025 10:26:00 AM EST
Assignment	CF Maintenance
GeoLocation	7774 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3081113 altitude: 3.7 longitude: -81.597069 [viewMap]
Action Item Picture	
Action Item Description	Adjust light so it faces the tree.
Request Vendor Proposal	No

ISSUE DETAILS 13 OF 13

Issue Details

Date / Time	Feb 28, 2025 10:26:00 AM EST
Assignment	Landscaper
GeoLocation	7767 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.307925 altitude: 3.7 longitude: -81.596463 [viewMap]

Action Item Picture

Action Item Description	Trim bushes around light.
Request Vendor Proposal	No

Zone 6 - Yellow

Site Report

18396563744

Reference Number: **20250228-18396563744**	Form Name: **Site Report**
Submitter Name: **Jarett Wright | jwright@gmscfl.com**	Date Sent on Device: **Feb 28, 2025 11:14:05 AM EST**
Location: **7701 Four Seasons Blvd, Kissimmee, FL 34747, USA Feb 28, 2025 11:13:58 AM EST [View Map]**	

NEW PAGE

District Status Review

District	Windward CDD
Site Inspected By	Jarett Wright - Field Manager

Issue Details

ISSUE DETAILS 1 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	CF Maintenance
GeoLocation	7767 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3076609 altitude: 4.4 longitude: -81.5966101 [viewMap]
Action Item Picture	


Action Item Description	Remove 2 x Lights and cap.
Request Vendor Proposal	No

ISSUE DETAILS 2 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	CF Maintenance
GeoLocation	7761 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3074133 altitude: 5.1 longitude: -81.5964471 [viewMap]
Action Item Picture	
Action Item Description	Adjust light alignment.

Request Vendor Proposal	No

ISSUE DETAILS 3 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	CF Maintenance
GeoLocation	7753 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3070033 altitude: 6.5 longitude: -81.5959189 [viewMap]

Action Item Picture


Action Item Description	Lights in bushes across from 7754 four seasons Blvd need removed and capped.
Request Vendor Proposal	No

ISSUE DETAILS 4 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	CF Maintenance
GeoLocation	7752 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3068675 altitude: 6.1 longitude: -81.5960154 [viewMap]

Action Item Picture


Action Item Description	Remove and cap 2 x light in bushes.
Request Vendor Proposal	No

ISSUE DETAILS 5 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	Landscaper
GeoLocation	7748 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3067262 altitude: 6.1 longitude: -81.5958353 [viewMap]
Action Item Picture	
Action Item Description	Donut bushes around light.

Request Vendor Proposal	No

ISSUE DETAILS 6 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	Landscaper
GeoLocation	7746 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3067481 altitude: 6.1 longitude: -81.5956108 [viewMap]

Action Item Picture

Action Item Description	Donut bushes around lights.
Request Vendor Proposal	No

ISSUE DETAILS 7 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	CF Maintenance
GeoLocation	7746 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3067394 altitude: 6.1 longitude: -81.59561 [viewMap]

Action Item Picture


Action Item Description	Remove and cap 2 x lights I'm bushes.
Request Vendor Proposal	No

ISSUE DETAILS 8 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	CF Maintenance
GeoLocation	7738 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3063403 altitude: 6.2 longitude: -81.5952211 [viewMap]
Action Item Picture	
Action Item Description	Adjust light alignment.

Request Vendor Proposal	No

ISSUE DETAILS 9 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	CF Maintenance
GeoLocation	7733 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3062062 altitude: 5.7 longitude: -81.5947727 [viewMap]

Action Item Picture

Action Item Description	Remove and cap 2 x lights in bushes.
Request Vendor Proposal	No

ISSUE DETAILS 10 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	Landscaper
GeoLocation	7727 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.305891 altitude: 5.8 longitude: -81.5943965 [viewMap]

Action Item Picture


Action Item Description	Trim bushes around light. CF maintenance replace light with working model.
Request Vendor Proposal	No

ISSUE DETAILS 11 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	Landscaper
GeoLocation	7723 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3058467 altitude: 4.7000003 longitude: -81.5941016 [viewMap]
Action Item Picture	

Action Item Description	Trim bushes around light.
Request Vendor Proposal	No

ISSUE DETAILS 12 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	CF Maintenance
GeoLocation	7721 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3056795 altitude: 5.0 longitude: -81.594048 [viewMap]

Action Item Picture

Action Item Description	Remove and cap 2 x lights in bushes.
Request Vendor Proposal	No

ISSUE DETAILS 13 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	CF Maintenance
GeoLocation	7709 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3051532 altitude: 5.1 longitude: -81.5933361 [viewMap]

Action Item Picture


Action Item Description	Remove and cap 2 x lights in bushes.
Request Vendor Proposal	No

ISSUE DETAILS 14 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	CF Maintenance
GeoLocation	1598 Whitewood Ct, Kissimmee, FL 34747, USA latitude: 28.3046728 altitude: 6.5 longitude: -81.5933137 [viewMap]
Action Item Picture	
Action Item Description	Lights were reported in these bushes. Verify locations and cap and remove any lights.

Request Vendor Proposal	No

ISSUE DETAILS 15 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	Landscaper
GeoLocation	1598 Whitewood Ct, Kissimmee, FL 34747, USA latitude: 28.3045555 altitude: 3.8999999 longitude: -81.5932514 [viewMap]

Action Item Picture




Action Item Description	Remove plant materials and provide proposal to rock in islands.

	CF maintenance adjust any lights.
Request Vendor Proposal	Yes

ISSUE DETAILS 16 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	CF Maintenance
GeoLocation	1165 Key Bay Trail, Kissimmee, FL 34747, USA latitude: 28.3044037 altitude: 3.4 longitude: -81.5933452 [viewMap]

Action Item Picture

Action Item Description	Cap and remove 2 x lights.
Request Vendor Proposal	No

ISSUE DETAILS 17 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	Landscaper
GeoLocation	1165 Key Bay Trail, Kissimmee, FL 34747, USA latitude: 28.3044418 altitude: 3.4 longitude: -81.5933313 [viewMap]

Action Item Picture

Action Item Description Remove bush blocking light.

Request Vendor Proposal No

ISSUE DETAILS 18 OF 21

Issue Details

Date / Time Feb 28, 2025 10:44:00 AM EST

Assignment Landscaper

GeoLocation 7701 Four Seasons Blvd, Kissimmee, FL 34747, USA
latitude: 28.3040454 altitude: 3.4
longitude: -81.5931161 [viewMap]

Action Item Picture

Action Item Description Trim bushes blocking light.

Request Vendor Proposal	No

ISSUE DETAILS 19 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	Landscaper
GeoLocation	1165 Key Bay Trail, Kissimmee, FL 34747, USA latitude: 28.3043893 altitude: 3.4 longitude: -81.5931034 [viewMap]
Action Item Picture	
Action Item Description	Trim bushes blocking light.
Request Vendor Proposal	No

ISSUE DETAILS 20 OF 21

Issue Details

Date / Time	Feb 28, 2025 10:44:00 AM EST
Assignment	Landscaper
GeoLocation	7701 Four Seasons Blvd, Kissimmee, FL 34747, USA latitude: 28.3040255 altitude: 3.4 longitude: -81.5930399 [viewMap]

Action Item Picture

Action Item Description Trim bushes around light.

Request Vendor Proposal No

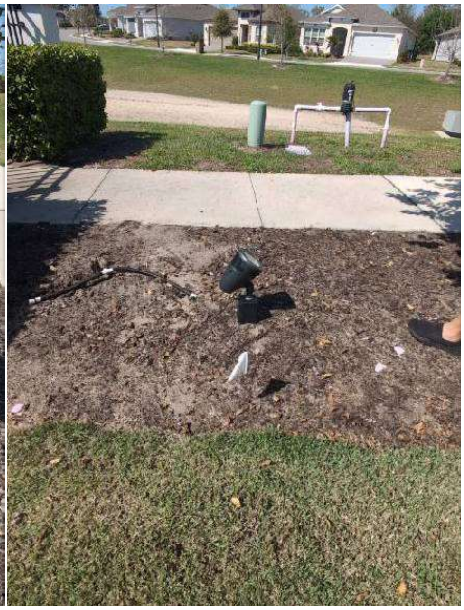
ISSUE DETAILS 21 OF 21

Issue Details

Date / Time Feb 28, 2025 10:44:00 AM EST

Assignment CF Maintenance

Action Item Picture



Action Item Description Remove and cap 2 x lights in verge.

Request Vendor Proposal No

SECTION 1

AGREEMENT FOR SERVICES RELATED TO THE IRRIGATION SYSTEM
(Windward Community Development District)

THIS AGREEMENT FOR SERVICES RELATED TO THE IRRIGATION SYSTEM (the "**Agreement**"), effective as of the _____ day of March, 2025 (the "**Effective Date**"), between the **WINDWARD COMMUNITY DEVELOPMENT DISTRICT**, a local unit of special purpose government created under Chapter 190, *Florida Statutes*, whose mailing address is c/o Governmental Management Services - Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801 (the "**District**"), and **UNITED LAND SERVICES HOLDINGS, LLC**, a Delaware limited liability company, whose principal address is 12276 San Jose Blvd., Ste. 747, Jacksonville, Florida 32223-8617 (the "**Contractor**").

W I T N E S S E T H:

Subject to and upon the terms and conditions of this Agreement and in consideration of the mutual promises set forth herein and other good and valuable consideration, the sufficiency of which is hereby acknowledged, the District and Contractor agree as follows:

1. DEFINITIONS.

(a) Agreement. The Agreement consists of: (i) this Agreement; and (ii) the Contractor's Proposal #149345, dated February 6, 2025, attached hereto as **Exhibit "A"** (the "**Proposal**"). The Agreement represents the entire and integrated Agreement between the parties hereto and supersedes all prior negotiations, representation, or agreements, either written or oral. The Agreement may be amended or modified only as set forth below in Paragraph 14. In the event of any conflict between the terms herein and term(s) in the Proposal, the terms herein shall prevail.

(b) Services/Work. The terms "Services" as used in this Agreement shall be construed to include the activities and services set forth in the Proposal and all obligations of Contractor under this Agreement, including any addenda or special conditions.

2. SCOPE OF SERVICES.

(a) A description of the nature, scope, location and schedule of the Services to be performed by the Contractor under this Agreement shall be as described in the Proposal. The area to be included under this Agreement may be amended by the mutual consent of the District and the Contractor.

3. COMMENCEMENT OF SERVICES AND TERM. Contractor shall commence the Services on the Effective Date and continue until the Services are complete.

4. DISTRICT MANAGER.

(a) The District's authorized representative (herein referred to as the "District Manager") shall be the District Manager of the District, which is Governmental Management Services – Central Florida, LLC, whose mailing address is 219 E. Livingston Street, Orlando,

Florida, 32801, Attention: Jason Showe; provided, however, that the District may, without liability to the Contractor, unilaterally amend this Paragraph from time to time by designating a different person or organization to act as its representative and so advising the Contractor in writing, at which time the person or organization so designated shall be the District's representative for the purpose of this Agreement.

(b) All actions to be taken by, all approvals, notices, consent, directions and instruction to be given by, all notices and other matters to be delivered to, all determinations and decisions to be made by and, in general, all other action to be taken by, or given to, the District shall be taken, given, and made by, or delivered or given to the District Manager in the name of and on behalf of the District, provided, however, that the District (and not the District Manager or any other agents of the District) shall be solely obligated to the Contractor for all sums required to be paid by the District to the Contractor hereunder.

5. COMPENSATION, PAYMENTS AND INSPECTION RIGHTS PRIOR TO FINAL PAYMENT.

(a) The District agrees to pay Contractor the total amount of $2,818.20 for the Services, after the Services have been completed and inspected/approved by the District's authorized representative.

(b) Work Authorizations shall mean orders or directives issued by the District. Work Authorizations shall be issued for repairs or emergency services, changes to the scope of the area in which services are required, or for any services beyond those set forth in Paragraph 2. Work performed under a Work Authorization may be paid either on a lump sum basis, a unit price basis, or a time and material basis as agreed upon in writing by the District and Contractor. Contractor shall not be entitled to compensation for Services outside the scope of Paragraph 2 unless Contractor has obtained prior written authorization of District to perform the same.

(c) District retains the right to reduce any portion of Contractor's scope of Services as set forth in Paragraph 2. Should this occur, a revised scope of Services and reduced compensation shall be agreed upon in writing by both District and Contractor.

(d) After the Services are completed, the District shall have the right to inspect and/or review the Services to accept or deny the sufficiency of the Services before payment is required to be made by the District to the Contractor.

6. REPRESENTATATIONS, WARRANTIES AND COVENANTS.

(a) Contractor hereby represents to District that: (i) it has the experience, qualifications and skill to perform the Services as set forth in this Agreement; (ii) it is duly licensed and permitted to observe and perform the terms, covenants, conditions and other provisions on its part to be observed or performed under this Agreement; (iii) has the necessary equipment, materials and inventory required to perform the Services as set forth in this Agreement; (iv) it has by careful examination satisfied itself as to: (a) the nature, location and character of the area in which the Services are to be performed including, without limitation, the surface conditions of the

land and all structures and obstructions thereon, both natural and manmade, the surface water conditions of the area, and to the extent pertinent, all other conditions, (b) all other matters or things which could in any manner affect the performance of the Services, and (c) that such Services will not negatively impact the adjacent landscaping.

(b) The Contractor warrants to the District that all materials furnished under this Agreement shall be new unless otherwise specified, and that all Services shall be of good quality, free from faults and defects and in conformance with the terms of this Agreement.

7. EMPLOYEES; INDEPENDENT CONTRACTOR STATUS.

(a) All matters pertaining to the employment, supervision, compensation, insurance, promotion, and discharge of any employees of Contractor or of entities retained by Contractor are the sole responsibility of Contractor. Contractor shall fully comply with all applicable acts and regulations having to do with workman's compensation, social security, unemployment insurance, hours of labor, wages, working conditions and other employer-employee related subjects. Contractor shall enforce strict discipline and good order among its employees on the District's premises. Contractor shall comply with all requirements of the E-Verify System as set forth in Paragraph 18.

(b) Contractor is an independent contractor and not an employee of the District. It is further acknowledged that nothing herein shall be deemed to create or establish a partnership or joint venture between the District and Contractor. Contractor has no authority to enter into any contracts or contracts, whether oral or written, on behalf of the District.

8. COMPLIANCE WITH LAWS, REGULATIONS, RULES AND POLICIES.

(a) At all times, Contractor shall operate in accordance with all applicable laws, statutes, regulations, rules, ordinances, policies, permits and orders. Contractor is responsible for obtaining all permits or other approvals required for the Services.

(b) Contractor hereby covenants and agrees to comply with all of the rules, ordinances and regulations of governmental authorities wherein the District's facilities are located, as said rules, etc. may specifically relate to Contractor or its Services provided hereunder, at Contractor's sole cost and expense, and Contractor will take such action as may be necessary to comply with any and all notices, orders or other requirements affecting the Services described herein as may be issued by any governmental agency having jurisdiction over Contractor. Contractor shall provide immediate notice to the District of any such orders or requirements upon receipt of same since Contractor understands that the District may elect to contest orders related to its property to the extent requested action is prohibited under Florida law.

(c) The District is a local unit of special purpose government created in accordance with the Uniform Community Development District Act of 1980, Chapter 190, *Florida Statutes*. Contractor agrees to comply with all applicable requirements and all other statutes and regulations applicable to Contractor (including Florida's Public Records law, as set forth in Paragraph 10 herein).

9. WORKPLACE ENVIRONMENT AND PUBLIC SAFETY.

(a) Contractor agrees to provide a safe and healthy workplace environment for its employees and agents and a safe and healthy environment for the public at all times. Contractor shall promptly correct any unsafe condition or health hazard in its control and shall immediately report any such condition to the District). In addition to all other requirements of this Agreement, Contractor shall comply with all federal, state and local laws and regulations related to health and safety. Further, Contractor acknowledges that all vehicles and equipment must be properly and safely operated and, where applicable, licensed and/or permitted, to operate on public roadways. Contractor acknowledges that it is responsible for public safety issues including but not limited to: proper work methods, use of protective equipment, safe maintenance, traffic control through work zones, and handling and use of materials, vehicles, and equipment, as applicable.

(b) The Contractor agrees that it alone bears the responsibility for providing a safe and healthy workplace, as related to the Services performed by Contractor pursuant to this Agreement, and that nothing in this Agreement suggests that the District has undertaken or assumed any part of that responsibility.

(c) Contractor shall, prior to performing any of the Services, provide employees with training to perform their jobs safely, including instruction in proper work methods, use of protective equipment, and safe maintenance, handling and use of materials, vehicles, and equipment. Contractor will not ask or allow any employee to operate any vehicle or equipment until the employee has received all relevant and advisable training. Contractor shall assure that all employees are licensed and/or have all applicable permits, necessary to perform the Services.

(d) Contractor will furnish, at its expense, all safety and protective equipment required or advisable for the protection of employees.

10. PUBLIC RECORDS AND OWNERSHIP OF BOOKS AND RECORDS.

(a) Contractor understands and agrees that all documents of any kind relating to this Agreement may be public records and, accordingly, Contractor agrees to comply with all applicable provisions of Florida public records law, including but not limited to the provisions of Chapter 119, *Florida Statutes*. Contractor acknowledges and agrees that the public records custodian of the District is the District Manager, which is currently Governmental Management Services - Central Florida, LLC (the "Public Records Custodian"). Contractor shall, to the extent applicable by law:

(i) Keep and maintain public records required by District to perform services;

(ii) Upon request by District, provide District with the requested public records or allow the records to be inspected or copied within a reasonable time at a cost that does not exceed the cost provided in Chapter 119, *Florida Statutes*;

(iii) Ensure that public records which are exempt or confidential, and exempt from public records disclosure requirements, are not disclosed except as authorized by law

for the duration of the Agreement term and following the Agreement term if the Contractor does not transfer the records to the Public Records Custodian of the District; and

(iv) Upon completion of the Agreement, transfer to District, at no cost, all public records in District's possession or, alternatively, keep, maintain and meet all applicable requirements for retaining public records pursuant to Florida laws.

IF THE CONTRACTOR HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO THE CONTRACTORS'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS AGREEMENT, CONTACT THE DISTRICT'S CUSTODIAN OF PUBLIC RECORDS AT (407-841-5524), OR BY EMAIL AT JSHOWE@GMSCFL.COM, OR BY REGULAR MAIL AT 219 E. LIVINGSTON STREET, ORLANDO, FLORIDA 32801, ATTENTION: DISTRICT PUBLIC RECORDS CUSTODIAN.

11. INSURANCE.

(a) Contractor shall, throughout the performance of its services pursuant to this Agreement, maintain at a minimum:

(i) Occurrence based comprehensive general liability insurance (including broad form contractual coverage), with a minimum limit of $1,000,000 single limit per occurrence, protecting it and District from claims for bodily injury (including death), property damage, contractual liability, products liability and personal injury which may arise from or in connection with the performance of Contractor's services under this Agreement or from or out of any act or omission of Contractor, its officers, directors, agents, and employees;

(ii) Occurrence based automobile liability insurance including bodily injury and property damage, including all vehicles owned, leased, hired and non-owned vehicles with limits of not less than $1,000,000.00 combined single limit covering all work performed hereunder;

(iii) Workers' compensation insurance as required by applicable law (or employer's liability insurance with respect to any employee not covered by workers' compensation) with minimum limits of $100,000 per occurrence; and

(iv) Employers liability, with a minimum coverage level of $1,000,000.

(b) All such insurance required in Paragraph 11(a) shall be with companies and on forms acceptable to District and shall provide that the coverage thereunder may not be reduced or canceled unless thirty (30) days prior written notice thereof is furnished to District; the insurance required under paragraph 11(a)(i) shall name the District as an additional insured. Certificates of insurance (and copies of all policies, if required by the District) shall be furnished to the District. In the event of any cancellation or reduction of coverage, Contractor shall obtain substitute coverage as required under this Agreement, without any lapse of coverage to District whatsoever.

12. SOVEREIGN IMMUNITY. Nothing contained herein, or in the Agreement shall cause or be construed as a waiver of the District's immunity or limitations on liability granted pursuant to section 768.28, *Florida Statutes*, or other law, and nothing in this Agreement shall inure to the benefit of any third party for the purpose of allowing any claim which could otherwise be barred under the Doctrine of Sovereign Immunity or by operation of law.

13. INDEMNIFICATION Contractor agrees to indemnify, save harmless and defend the District, its officers, directors, board members, employees, agents and assigns, from and against any and all liabilities, claims, penalties, forfeitures, suits, legal or administrative proceedings, demands, fines, punitive damages, losses, liabilities and interests, and any and all costs and expenses incident thereto (including costs of defense, settlement and reasonable attorneys' fees, which shall include fees incurred in any administrative, judicial or appellate proceeding) which the District, their officers, directors, board members, employees, agents and assigns, may hereafter incur, become responsible for or pay out to the extent arising out of (i) Contractor's (or its agents, employees or subcontractors) breach of any term or provision of this Agreement, or (ii) any negligent or intentional act or omission of Contractor, its agents, employees or subcontractors, related to or in the performance of this Agreement.

14. MODIFICATIONS, ADDITIONS OR DELETIONS TO THE SERVICES.

(a) A Work Authorization shall be in writing by the District, which shall consist of additions, deletions or other modifications to the Agreement.

(b) The District may, from time to time, without affecting the validity of the Agreement, or any term or condition thereof, issue Work Authorizations which may identify additional or revised scope of Services, or other written instructions and orders, which shall be governed by the provisions of the Agreement. The Contractor shall comply with all such orders and instructions issued by the District. Upon receipt of any Work Authorization, the Contractor shall promptly proceed with the work, and the resultant decrease or increase in the amount to be paid the Contractor, if any, shall be governed by the provisions of Paragraph 5 in this Agreement.

15. PROTECTION OF PERSONS AND PROPERTY; MONITORING.

(a) In addition to all other requirements hereunder, the Contractor shall be responsible for initiating, maintaining and supervising safety precautions and programs in connection with the Services, and shall provide all protection to prevent injury to persons involved in any way in the Services and all other persons, including, without limitation, the employees, agents guests, visitors, invitees and licensees of the District and community residents, tenants, and the general public that may be affected thereby.

(b) All Services, whether performed by the Contractor, its Subcontractors, or anyone directly or indirectly employed by any of them, and all applicable equipment, machinery, materials, tools and like items used in the Services, shall be in compliance with, and conform to: (i) all applicable laws, ordinances, rules, regulations and orders of any public, quasi-public or other governmental authority; and (ii) all codes, rules, regulations and requirements of the District and

its insurance carriers relating thereto. In the event of conflicting requirements, the more stringent shall govern.

(c) The Contractor shall at all times keep the general area in which the Services are to be performed, including but not limited to sidewalks, roadways, trails, rights-of-way, open spaces, and all such areas impacted by the Services, clean and free from accumulation of waste materials or rubbish (including, without limitation, hazardous waste), caused by performance of the Services, and shall continuously throughout performance of the Services, remove and dispose of all such materials in receptacles provided by the District (unless such disposal would cause a safety risk, in which event Contractor shall notify the District immediately). The District may require the Contractor to comply with such standards, means and methods of cleanup, removal or disposal as the District may make known to the Contractor.

(d) Contractor shall cooperate with and participate in, at no additional cost or charge, all programs, plans or routines for monitoring and reporting to District, as set forth herein or otherwise agreed upon by the District and the Contractor, to ensure satisfactory performance of the Services provided hereunder.

16. SUSPENSION OR TERMINATION.

(a) The District and the Contractor shall, in their sole discretion and without cause, have the right to suspend or terminate this Agreement upon thirty (30) days prior written notice to the other party.

(b) If the Contractor should become insolvent, file any bankruptcy proceedings, make a general assignment for the benefit of creditors, suffer or allow appointment of a receiver, refuse, fail or be unable to make prompt payment to Subcontractors, disregard applicable laws, ordinances, governmental orders or regulations or the instructions of the District, or if the Contractor should otherwise be guilty of a violation of, or in default under, any provisions of the Agreement, then the District may, without prejudice to any other right or remedy available to the District and after giving the Contractor and its surety, if any, seven (7) days written notice, terminate the Contract and the employment of Contractor. In addition, without terminating this Contract as a whole, the District may, under any of the circumstances above, terminate any portion of this Contract (by reducing, in such as manner as District deems appropriate, the scope of Services to be performed by the Contractor) and complete the portion of this Contract so terminated in such manner as the District may deem expedient.

17. SUBCONTRACTORS. If the Contractor desires to employ Subcontractors in connection with the performance of its Services under this Agreement:

(a) Nothing contained in the Agreement shall create any contractual relationship between the District and any Subcontractor. However, it is acknowledged that the District is an intended third-party beneficiary of the obligations of the Subcontractors related to the Services.

(b) Contractor shall coordinate the services of any Subcontractors and remain fully responsible under the terms of this Agreement; Contractor shall be and remain responsible for the quality, timeliness and coordinate of all Services furnished by the Contractor or its Subcontractors.

(c) All subcontracts shall be written. Each subcontract shall contain a reference to this Agreement and shall incorporate the terms and condition of this Agreement to the full extent applicable to the portion of the Services covered thereby. Each Subcontractor must agree, for the benefit of the District, to be bound by such terms and conditions to the full extent applicable to its portion of the Services.

18. COMPLIANCE WITH E-VERIFY SYSTEM

(a) The Contractor shall comply with and perform all applicable provisions and requirements of Section 448.095, *Florida Statutes* and Section 448.09(1), *Florida Statues*. Accordingly, beginning on the Effective Date, to the extent required by Section 448.095*, Florida Statutes*, the Contractor shall enroll with and use the United States Department of Homeland Security's E-Verify system to verify the work authorization status of all newly hired employees. The District may terminate this Agreement immediately for cause if there is a good faith belief that the Contractor has knowingly violated Section 448.091, *Florida Statutes*.

(b) If the Contractor anticipates entering into agreements with a subcontractor for the work, Contractor will not enter into the subcontractor agreement without first receiving an affidavit from the subcontractor regarding compliance with Section 448.095, *Florida Statutes*, and stating that the subcontractor does not employ, contract with, or subcontract with an unauthorized alien. Contractor shall maintain a copy of such affidavit for the duration of the agreement and provide a copy to the District upon request. In the event that the District has a good faith belief that a subcontractor has knowingly violated Section 448.095, *Florida Statutes*, but the Contractor has otherwise complied with its obligations hereunder, the District shall promptly notify the Contractor. The Contractor agrees to immediately terminate the agreement with the subcontractor upon notice from the District. Further, absent such notification from the District, the Contractor or any subcontractor who has a good faith belief that a person or entity with which it is contracting has knowingly violated Section 448.09(1), *Florida Statutes*, shall promptly terminate its agreement with such person or entity.

(c) By entering into this Agreement, the Contractor represents that no public employer has terminated a contract with the Contractor under Section 448.095(2)(c), *Florida Statutes*, within the year immediately preceding the date of this Agreement.

19. NOTICE.

(a) Notices required or permitted to be given under this Agreement shall be in writing, may be delivered personally or by mail, overnight delivery service, or courier service, and shall be given when received by the addressee. Notices shall be addressed as follows:

If to District:	Windward Community Development District c/o Governmental Management Services – Central Florida, LLC 219 E. Livingston Street Orlando, Florida 32801 Attention: Jason Showe, District Manager Telephone: (407) 841-5524 Email: jshowe@gmscfl.com
Copy to:	Latham, Luna, Eden & Beaudine, LLP 201 S. Orange Ave., Suite 1400 Orlando, Florida 32801 Attention: District Counsel (Jan A. Carpenter, Esq. and Kristen Trucco, Esq.) Telephone: (407) 481-5806
If to Contractor:	United Land Services Holdings, LLC 12276 San Jose Blvd., Ste. 747 Jacksonville, Florida 32223-8617 Attention: Manager (and Rashawn Peterson) Telephone: _____ Email:_____

(b) Notwithstanding the foregoing, any notice sent to the last designated address of the party to whom a notice may be or is required to be delivered under this Agreement shall not be deemed ineffective if actual delivery cannot be made due to a change of address of the party to whom the notice is directed or the failure or refusal of such party to accept delivery of the notice. Parties may change notice address by delivering written notice by mail, overnight delivery service, or courier service to the other party and such change shall become effective when received by the addressee.

20. ATTORNEYS' FEES. If either party hereto institutes an action or proceeding for a declaration of the rights of the parties the Agreement, for injunctive relief, for an alleged breach or default of, or any other action arising out of, the Agreement, or in the event any party hereto is in default of its obligations pursuant hereto, whether or not suit is filed or prosecuted to final judgment, the non-defaulting or prevailing party shall be entitled to its actual attorneys' fees and to any court costs and expenses incurred, in addition to any other damages or relief awarded.

21. GOVERNING LAW AND JURISDICTION. This Agreement shall be interpreted and enforced under the laws of the State of Florida. The parties will comply with the terms of the Agreement only to the extent they are enforceable or permitted under Florida law. Any litigation arising under this Agreement shall occur in a court having jurisdiction in Orange County, Florida. **THE PARTIES WAIVE TRIAL BY JURY AND AGREE TO SUBMIT TO PERSONAL JURISDICTION AND VENUE IN ORANGE COUNTY, FLORIDA.**

22. SEVERABILITY. In the event that any provision of this Agreement is judicially

construed to be invalid by a court of competent jurisdiction, such provision shall then be construed in a manner allowing its validity, or if this leads to an impracticable result, shall be stricken, but in either event, all other provisions of the Agreement shall remain in full force and effect.

23. NO WAIVER. No failure by either party to insist upon the strict performance of any covenant, duty, contract or condition of this Agreement or to exercise any right or remedy upon a breach thereof shall constitute a waiver of any such breach or of such or any other covenant, contract, term or condition. Any party hereto, by written notice executed by such party, may, but shall be under no obligation to, waive any of its rights or any conditions to its obligations hereunder, or any duty, obligation, or covenant of any other party hereto. No waiver shall affect or alter this Agreement, but each and every covenant, contract, term and condition of this Agreement shall continue in full force and effect with respect to any other then-existing or subsequent breach thereof.

24. NO MODIFICATION. No modification, waiver, amendment, discharge or change of this Agreement shall be valid unless the same is in writing and signed by the parties against which such enforcement is or may be sought. This instrument contains the entire contract made between the parties and may not be modified orally or in any manner other than by a contract in writing signed by all parties hereto or their respective successors in interest.

25. TIME IS OF THE ESSENCE. The time for delivery and/or completion of the Services to be performed under the Agreement shall be of the essence of the Agreement.

26. ARM'S LENGTH TRANSACTION. This Agreement has been negotiated fully between the parties as an arm's length transaction. In addition to the representations and warranties contained herein, the Contractor acknowledges that prior to the execution of the Agreement it has thoroughly reviewed and inspected the Agreement documents, and satisfied itself regarding any error, inconsistency, discrepancy, ambiguity, omission, insufficiency of detail or explanation. Contractor further acknowledges that the parties have participated fully in the preparation of this Agreement and received the advice of counsel. In the case of a dispute concerning the interpretation of any provision of this Agreement, all Parties are deemed to have drafted, chosen and selected the language, and doubtful language will not be interpreted or construed against any Party.

27. COUNTERPARTS. This Agreement may be executed in any number of counterparts with the same effect as if all parties had signed the same document. All fully executed counterparts shall be construed together and shall constitute one and the same contract.

[Remainder of page intentionally left blank.]

SIGNATURE PAGE TO
AGREEMENT FOR SERVICES RELATED TO THE IRRIGATION SYSTEM

IN WITNESS WHEREOF, the parties have caused this Agreement to be duly executed affective as of the day and year first above written.

DISTRICT:

WINDWARD COMMUNITY DEVELOPMENT DISTRICT

By:_____
Name: Timothy Peltier
Title: Chairman, Board of Supervisors

CONTRACTOR:

UNITED LAND SERVICES HOLDINGS, LLC, a Delaware limited liability company

By: John Borland
Print: John Borland
Title: Branch Manager

<u>EXHIBIT "A"</u>

PROPOSAL

[Attached.]

Proposal #149345

Date: 2/6/2025

PO #

Rashawn Peterson

Customer:

Access Management Invoices Billing - Central Florida

Property:

Four Seasons at Orlando
7813 Four Seasons Blvd
Kissimmee, FL 34747

Four Seasons Bubbler Removal

Remove and cap bubblers on all parkway trees in Four Seasons

Bubbler Removal

Antilles Club

2185 2189 2193 2197 2201 2205 2209 2213 2217 2225 2229 2233 2237

2241 2245 2249 2253 2257 2276 2272 2268 2264 2256 2248 2244 2236

2232 2228 2224 2220 2216 22121 2208 2204 2200 2196 2192 2188 2184

2180 2176 2172 2168 2164 2160 2156 2151 2148 2144 2140 2136 2132

Total 52

Four Season Blvd

7799 7797 7795 7787 7783 7787 7789 7791 7793 7767 7765 7761 7759

7757 7755 7753 7749 7747 7745 7743 7741 7739 7737 7735 7733 7731

7729 7727 7725 7723 7721 7719 7717 7715 7713 7711 7709 7710 7714

7716 7718 7720 7722 7724 7726 7728 7730 7732 7734 7736 7740 7742

7744 7746 7748 7750 7752 7756 7758 7760 7764 7766 7768 7770 7772

7774 7776 7778 7780 7782 7784 7786 7788 7790 7792 7794 7766 7798

Total 78

Limestone

1963 1975 1983 1991 1999 2007 2015 2023 2039 2055 2063 2071 2079

2087 2095 2103 2011 2119 2127 2135 2143 2151 2159 2167 2175 2183

2191 2199 2207 2215 2224 2216 2140 2132 2124 2116 2108 2100 2092

Total 39

Seagrass

2289 2288 2280 2264 2232

Total 5

Key Bay

1991 1999 2007 2015 2023 2031 2043 2051 2046 2038 2030 2022 2014

2006 1998 1699 1691 1699 1691 1683 1675 1667 1647 1648 1638 1630

1622 1614 1606 1611 1619 1627 1635 1643

Total 34

Sand Pierre

7608 7616 7624 7632 7640 7661 7653 7645 7637

Total 9

Whitewood

1542 1546 1550 1554 1566 1570 1574 1578 1582 1580 1590 1594 1598

Total 13

Flora Pass

1740 1728 1735 1747 1759 1771 1783 1795 1807 1831 1843 1855 1873

Flora Pass cont.

1885 1891 1903 1915 1927 1939 1951 1957 1969 1975 1981 1987 1993

1999 2005 2001 2017 2023 2029 2033 2039 2045 2051 2057 2063 2069

2075 2087 2093 2098 2092 2086 2080 2074 2068 2062 2056 2050 2040

2038 2032 2028 2022 2016 2010 20043 1998 1992 1986 1980 1974 1968

1962 1956 1950 1944 1932 1920 1908 1896 1884

Total 74

Sandy Creek

7968 7964 7960 7956 7952 7948 7940 7932 7928 7924 7920 7916 7912

7904 7900 7905 7909 7913 7917 7921 7925 7929 7933 7937 7941 7945

7949 7953 7957 7961 7965 7969 7973 7977 7981

Total 35

Total Trees 339

Default Group — $2,818.20

Items	Quantity	Unit	Price/Unit	Price
Bubbler Removal				**$2,818.20**
Irrigation Parts and Labor	40.00	Hr	$70.46	$2,818.20
			PROJECT TOTAL:	**$2,818.20**

Terms & Conditions

By _____ **By** _____

Rashawn Peterson

Date 2/6/2025 **Date** _____

United Land Services **Four Seasons at Orlando**

NONGOVERNMENTAL ENTITY
ANTI-HUMAN TRAFFICKING AFFIDAVIT
(Section 787.06(13), *Florida Statutes*)

STATE OF FLORIDA
COUNTY OF _____

BEFORE ME, the undersigned, a Notary Public in and for the County and State aforesaid, personally appeared _____ ("Affiant") who, being first duly sworn, on oath, says:

1. Affiant is an officer or representative of UNITED LAND SERVICES HOLDINGS, LLC and Affiant attests that UNITED LAND SERVICES HOLDINGS, LLC does not use coercion for labor or services as defined in Section 787.06, *Florida Statutes*. Under penalty of perjury, I hereby declare and affirm that the above stated facts are true and correct.

DATED as of _____, 2025.

_____
Name: _____
Title: _____ of UNITED LAND SERVICES HOLDINGS, LLC (Affiant)

SUBSCRIBED AND SWORN TO before me by means of ☐ physical presence or ☐ online notarization, this ____ day of _____, 2025, by _____, as _____ of UNITED LAND SERVICES HOLDINGS, LLC. Said person is *(check one)* ☐ personally known to me or ☐ has produced a valid driver's license as identification.

[Notary Seal]

_____

_____
Signature of person taking acknowledgment
Name (typed, printed or stamped):

Title or Rank:_____
Serial number (if any):_____

SECTION 2

SECTION a.

200 S. F. Street
Haines City, Florida 33844
Phone 863-422-5207 | Fax 863-422-1816
Polk County License # 214815

Date: March 6, 2025

SUBMITTED TO:	Job Name / Location:
Four Seasons at Orlando 2117 Antilles Club Kissimmee, FL 34747 Attn: Jarrett Wright Phone: Email: jwright@gmscfl.com	Four Seasons at Orlando 2117 Antilles Club Kissimmee, FL 34747

PROPOSAL TO REMOVE PLANTS AND MULCH NEAR DESIGNATED CART PATH AND INSTALL RIVER STONE

	Qty	Unit	Unit Cost	TOTAL
Brown River Stone	12	Yds	$537.50	$6,450.00
Weed Barrier	1	EA	$200.00	$200.00
Bed Prep and Labor	40	HR	$65.00	$2,600.00
Irrigation Adjustment	!	EA	$400.00	$400.00
			Total:	**$9,650.00**

The customer agrees, that by signing this proposal, it shall become a legal and binding contract and shall supersede any previous agreements, discussed or implied. The customer further agrees to all terms and conditions set forth within and shall be responsible for any/all court and/or attorney fees incurred by Prince and Sons, Inc.required to obtain collection for any portion of money owed for material and/or work performed by Prince and Sons Inc.

Submitted by: Brian Bubendorf

Date Submitted: March 6, 2025

Accepted by:_____

Date Accepted: _____

SECTION b.

200 S. F. Street, Haines City, FL 33844
www.princelandservices.com

Phone 863-422-5207

State of Florida License # CGC1521568
Polk County License # 15453

Date: 2/27/2025

SUBMITTED TO:	Job Name / Location:
GMS 219 E. Livingston St. Orlando, FL 32801 Attn: Jarett Wright Phone: 407-750-3599 Email: Jwright@gmscfl.com	Four Seasons Kissimmee Fl. Clock #5

Proposal to: Re-route irrigation lateral line around tree that is broken underneath roots by exit gate of golf course on Sandy Creek Trail.

DESCRIPTION	Qty	Unit Cost	TOTAL
Misc. parts (pipe, fittings, glue, etc.)	1	$150.00	$150.00
Labor	10	$65.00	$650.00
Total			$800.00

EXCLUSIONS & SUBSTITUTIONS:

GENERAL TERMS:

1. Payment to be remitted within 30 days upon completion (no exceptions).
2. Prices good for 30 days - P&S reserves the right to re-bid after 30 days.

Prince and Sons, Inc. Authorized Signature:

Paul Harrington	James Smith	Travis Wright	_____
Account Manager	*Irrigation Manager*	*Technician*	*Approved by*

SECTION C.

200 S. F. Street, Haines City, FL 33844
www.princelandservices.com

Phone 863-422-5207

State of Florida License # CGC1521568
Polk County License # 15453

Date: 3/6/2025

SUBMITTED TO:	Job Name / Location:
GMS 219 E. Livingston St. Orlando, FL 32801 Attn: Jarett Wright Phone: 407-750-3599 Email: Jwright@gmsctl.com	Four Seasons Kissimmee Fl.

Proposal to: CAP ALL BUBBLERS ON TREES AROUND CDD AREAS.

DESCRIPTION	Qty	Unit Cost	TOTAL
1/2" THREADED/SLIP CAP	1,157	$3.00	$3,471.00
Total			$3,471.00

EXCLUSIONS & SUBSTITUTIONS:

GENERAL TERMS:

1. Payment to be remitted within 30 days upon completion (no exceptions).
2. Prices good for 30 days - P&S reserves the right to re-bid after 30 days.

Prince and Sons, Inc. Authorized Signature:

Paul Harrington	James Smith	Travis Wright	_____
Account Manager	*Irrigation Manager*	*Technician*	*Approved by*

SECTION d.

200 S. F. Street, Haines City, FL 33844
www.princelandservices.com
Phone 863-422-5207
State of Florida License # CGC1521568
Polk County License # 15453

Date: 3/11/2025

SUBMITTED TO:	Job Name / Location:
GMS 219 E. Livingston St. Orlando, FL 32801 Attn: Jarett Wright Phone: 407-750-3599 Email: Jwright@gmsctl.com	Four Seasons Kissimmee Fl.

Proposal to: Replace 3 T filters with 2" Vu Flow filters with ball valve.

DESCRIPTION	Qty	Unit Cost	TOTAL
Vu Flow filter 2" 24 Mesh	6	$248.40	$1,490.40
.5" Ball valve	6	$3.85	$23.10
.5" Street elbow	6	$1.32	$7.92
2" Pvc pipe	3	$2.52	$7.56
2" Elbow	6	$3.91	$23.46
2" Coupling	6	$2.33	$13.98
Labor	4	$65.00	$260.00
Total			$1,826.42

EXCLUSIONS & SUBSTITUTIONS:

GENERAL TERMS:

1. Payment to be remitted within 30 days upon completion (no exceptions).
2. Prices good for 30 days - P&S reserves the right to re-bid after 30 days.

Prince and Sons, Inc. Authorized Signature:

Paul Harrington	James Smith	Travis Wright	_____
Account Manager	*Irrigation Manager*	*Technician*	*Approved by*